

ZONING DATA CHART

GROSS SITE AREA: 12,781 m ²		ASPHALT AREA: 9,755 m ²	
BUILDING AREA (TOTAL): 2,492 m ²		LANDSCAPED AREA: 1,301 m ²	
EXISTING PROPOSED		634 m ²	
ITEM	SC-1*	REQUIRED	PROVIDED
1	PERMITTED USES	SEE PERMITTED USE NOTE ON SHEET SP1	SEE PERMITTED USE NOTE ON SHEET SP1
2	LOT AREA (ACRES MIN)	1.3	3.2
3	LOT FRONTAGE (m MIN)	60	62.95
4	FRONT YARD EXTERIOR SIDE YARD SETBACK (m)	3.0 MIN 15.0 MAX	7.45 FRONT N/A EXTERIOR SIDE
5	REAR YARD (m MIN)	9.0	46.67
		6.0	ABUTTING RESIDENTIAL ABUTTING OTHER
6	INTERIOR SIDE YARD SETBACK (m MIN)	9.0	ABUTTING RESIDENTIAL ABUTTING OTHER
		6.0	N/A 0*
7	LANDSCAPED OPEN SPACE (%) MIN	10	10.2
8	LOT COVERAGE (%) MAX	35	19.6
9	HEIGHT MAXIMUM (STOREYS MAX)	4	1
10	GROSS FLOOR AREA (m ² MAX)	N/A	2,510
11	LOADING SPACE REQUIREMENTS	SEE LOADING REQUIREMENTS NOTE	SEE LOADING REQUIREMENTS NOTE
12	VEHICLE PARKING	SEE PARKING REQUIREMENTS NOTE	SEE PARKING REQUIREMENTS NOTE

* EXISTING CONDITION

PERMITTED USES

- SC-1 ZONE (SITE SPECIFIC BY-LAW No. 85-2003):
- CALL CENTRE;
 - CLINIC USE;
 - CONFERENCE CENTRE;
 - CONVENIENCE COMMERCIAL USE;
 - CONVENTION USE;
 - DATA PROCESSING USES;
 - DAY NURSERY USE;
 - EATING ESTABLISHMENT USE, INCL. BANQUET HALL;
 - EDUCATION AND TRAINING USE;
 - FINANCIAL INSTITUTION USE;
 - FOOD AND/OR SPECIALTY FOOD USE, INCL. SUPERMARKET AND BAKED GOODS OUTLET;
 - HOTEL AND MOTEL USE;
 - INSTITUTIONAL USE;
 - OFFICE USE;
 - PARKS AND RECREATION USES;
 - PERSONAL SERVICE USE INCL. A DRY CLEANING DISTRIBUTION STATION, BUT NOT A DRY CLEANING ESTABLISHMENT;
 - PLACE OF ENTERTAINMENT USE;
 - PRIVATE OR COMMERCIAL CLUB USE;
 - PUBLIC USES IN ACCORDANCE WITH THE PROVISIONS OF SECTION 5.3.2;
 - RETAIL COMMERCIAL USE, INCL. DEPARTMENT STORE AND CATALOGUE STORE;
 - VEHICLE SERVICE STATION;
 - VEHICLE SERVICE AND SUPPLY USES;
 - WHOLESALE USES

LOADING ZONE REQUIREMENTS

*LOADING SPACES MUST BE MINIMUM 4.5m WIDE WITH VERTICAL CLEARANCE OF 4.25m FOR CSA ZONING

TOTAL SPACES REQUIRED ON LOT (TWO BLDGS 0-2,350m²) = 2 SPACES REQUIRED
TOTAL SPACES PROVIDED ON LOT = 2 SPACES PROVIDED*
(*MINOR VARIANCE REQUIRED)

PARKING REQUIREMENTS (AREA 3):

MINIMUM PARKING SPACE DIMENSIONS 15.05m², TYPE A 3.4mX5.5m, TYPE B 2.4mX5.5m

SHOPPING CENTRE (EXISTING) 5.5/100m² 1,858m² = 103 SPACES
EATING EST. (PROPOSED) 1/9m² 204m² = 23 SPACES
RETAIL COMMERCIAL (PROPOSED) 1/18m² 430m² = 24 SPACES
TOTAL REQUIRED PARKING = 150 SPACES
TOTAL PROVIDED PARKING (INCL. 10 CAR STACKING) = 166 SPACES
B/F PARKING: 1/20 FOR 1ST 100 + 1/ADDITIONAL 100 REQUIRED = 6 SPACES
PROVIDED 1 TYPE 'A', 2 TYPE 'B' + 2 EXISTING

NOTE:

REFER TO OBC MATRIX PREPARED BY PATRICK TROTTER ARCHITECT, PROVIDED SEPARATELY.

WASTE REMOVAL

GARBAGE TO BE STORED EXTERNALLY IN DEEP WELL GARBAGE CONTAINERS AND OWNER TO ARRANGE SITE PICK-UP AND REMOVAL.

BUILDING CLASS

COMMERCIAL - GROUP E OCCUPANCY, PART 3 OF THE ONTARIO BUILDING CODE

CANADA POST

THIS DEVELOPMENT WILL RECEIVE MAIL TO A NEAR-BY SUPERBOX AS LOCATED BY CANADA POST.

LEGEND

- FR-2 PROPOSED SIGN, TYPE OF SIGN
- PFEE* PRINCIPAL FIRE FIGHTER'S ENTRANCE
- PROPOSED BARRIER FREE ROUTE
- PROPOSED FIRE ROUTE (6.0m WIDE, 12.0m RADIUS)
- PROPOSED RAMP (SEE DETAIL ON SP2)
- BUILDING ENTRANCE
- PROPOSED LIGHT-DUTY ASPHALT
- PROPOSED HEAVY-DUTY ASPHALT
- PROPOSED CONCRETE
- EXISTING BUILDING
- PROPOSED BUILDING
- LIMITS OF SUBJECT PROPERTY

REFERENCE DOCUMENTS

- TOPOGRAPHICAL SURVEY PREPARED BY SBMG, FILE. NO SBMG-21-0065, DATED APRIL 20, 2021.
- CONCEPTUAL SITE PLAN PROVIDED BY WESTDELL DEVELOPMENT CORPORATION RECEIVED MARCH 18, 2021.
- DESIGN BRIEF PREPARED BY STRIK, BALDINELLI, MONIZ (SBM), PROJECT NUMBER SBM-21-1211, DATED MAY 2021.

SITE BENCHMARK

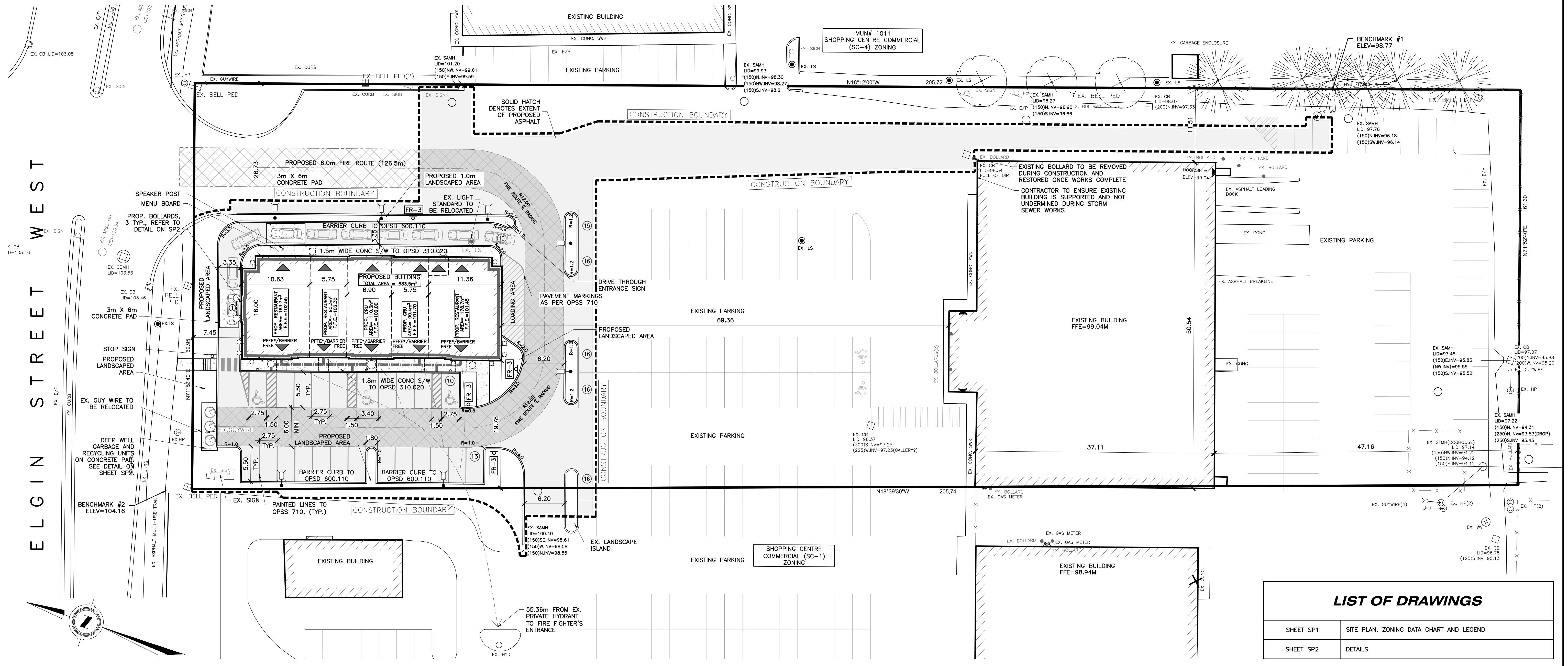
BENCHMARK #1:
MONUMENT TYPE: HYDRANT SPINDLE
LOCATION: TOP OF HYDRANT SPINDLE LOCATED ON THE SOUTHEAST CORNER OF THE SUBJECT SITE.
GEODETIC ELEVATION (CGVD2013): 98.77m

BENCHMARK #2:
MONUMENT TYPE: PK NAIL
LOCATION: PK NAIL IN ASPHALT AT NORTHWEST CORNER ON SITE ADJACENT TO ELGIN STREET WEST.
GEODETIC ELEVATION (CGVD2013): 104.16m
(CONTRACTOR TO CONFIRM BENCHMARK ELEVATIONS)

KEY PLAN
N.T.S.

LEGAL INFORMATION

PART OF
LOT 21, CONCESSION A
(GEOGRAPHIC TOWNSHIP OF HAMILTON)
IN THE
TOWN OF COBOURG
COUNTY OF NORTHUMBERLAND



LIST OF DRAWINGS

SHEET SP1	SITE PLAN, ZONING DATA CHART AND LEGEND
SHEET SP2	DETAILS

AS CONSTRUCTED SERVICES	COMPLETION	No.	REVISIONS	D/M/Y	BY	CONSULTANT
	DESIGN	CJ	1	FOR REVIEW/APPROVAL	18/05/21	CJ
	DRAWN	CJ	2	ISSUED FOR SPA	28/05/21	CJ
	CHECKED	LS/BH				
	APPROVED	BH				
	DATE			28/05/2021		
	CAD			21-1211		

STRIK BALDINELLI MONIZ
sbm
PLANNING - CIVIL - STRUCTURAL - MECHANICAL - ELECTRICAL
1599 Adelaide St. N, Unit 301, London, Ontario, N5X 4E8
Tel: (519) 471-6667 Fax: (519) 471-0034
Email: sbm@sbmtd.ca

ENGINEER'S STAMP
LICENSED PROFESSIONAL ENGINEER
B. R. HYLAND
400228391
May 31, 2021
PROVINCE OF ONTARIO

ENGINEER'S STAMP
SEALED FOR GENERAL CONFORMANCE WITH THE OBC AND MUNICIPAL SITE PLAN CONTROLS AND ZONING BY-LAWS

CLIENT
TRI BATE ASSET MANAGEMENT
782 RICHMOND STREET
LONDON, ON N6A 3H5
P: 519.850.0000
E: INFO@WESTDELLCORP.COM

SCALE
SCALE - 1:300
3.0 0 6.0m

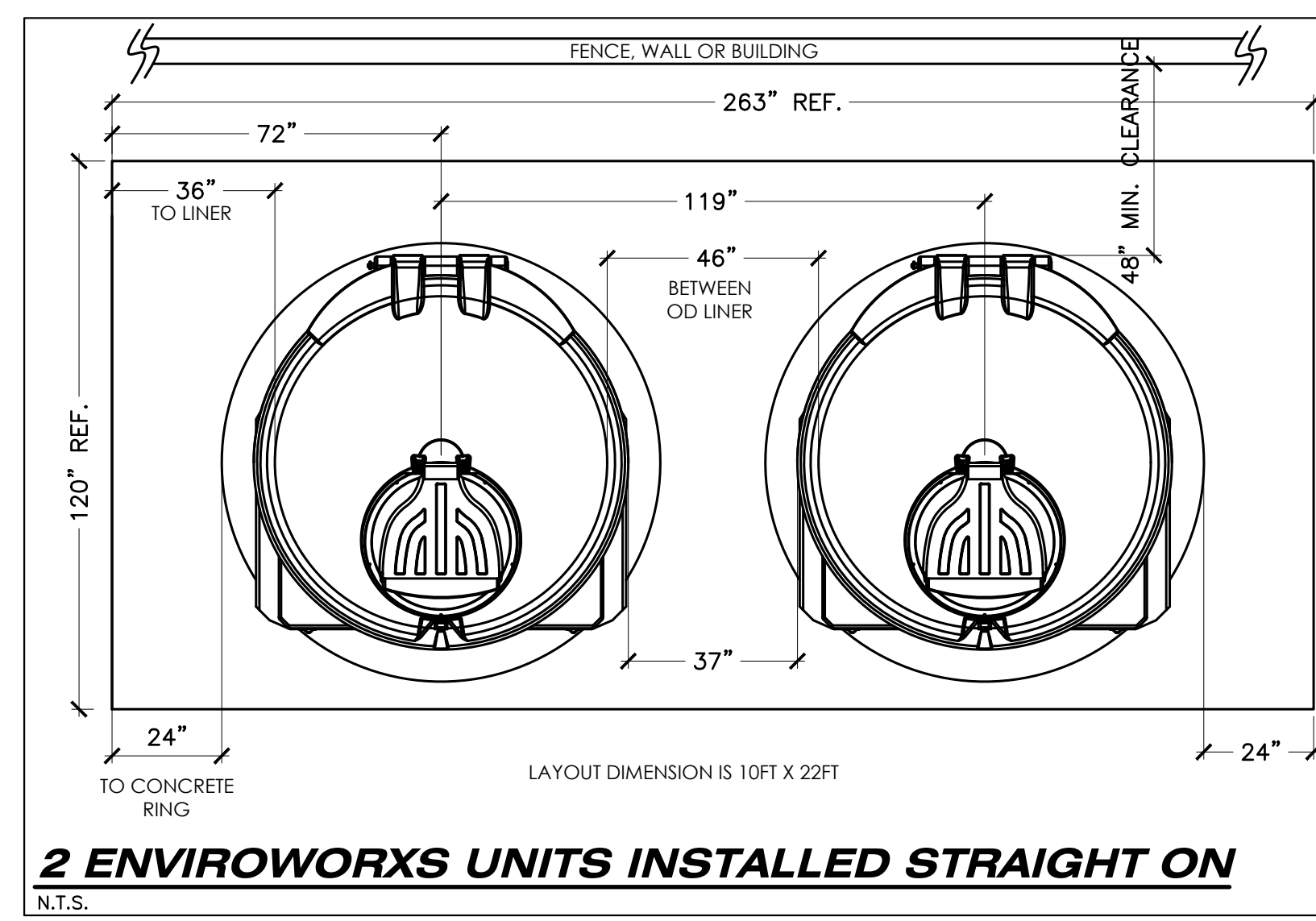
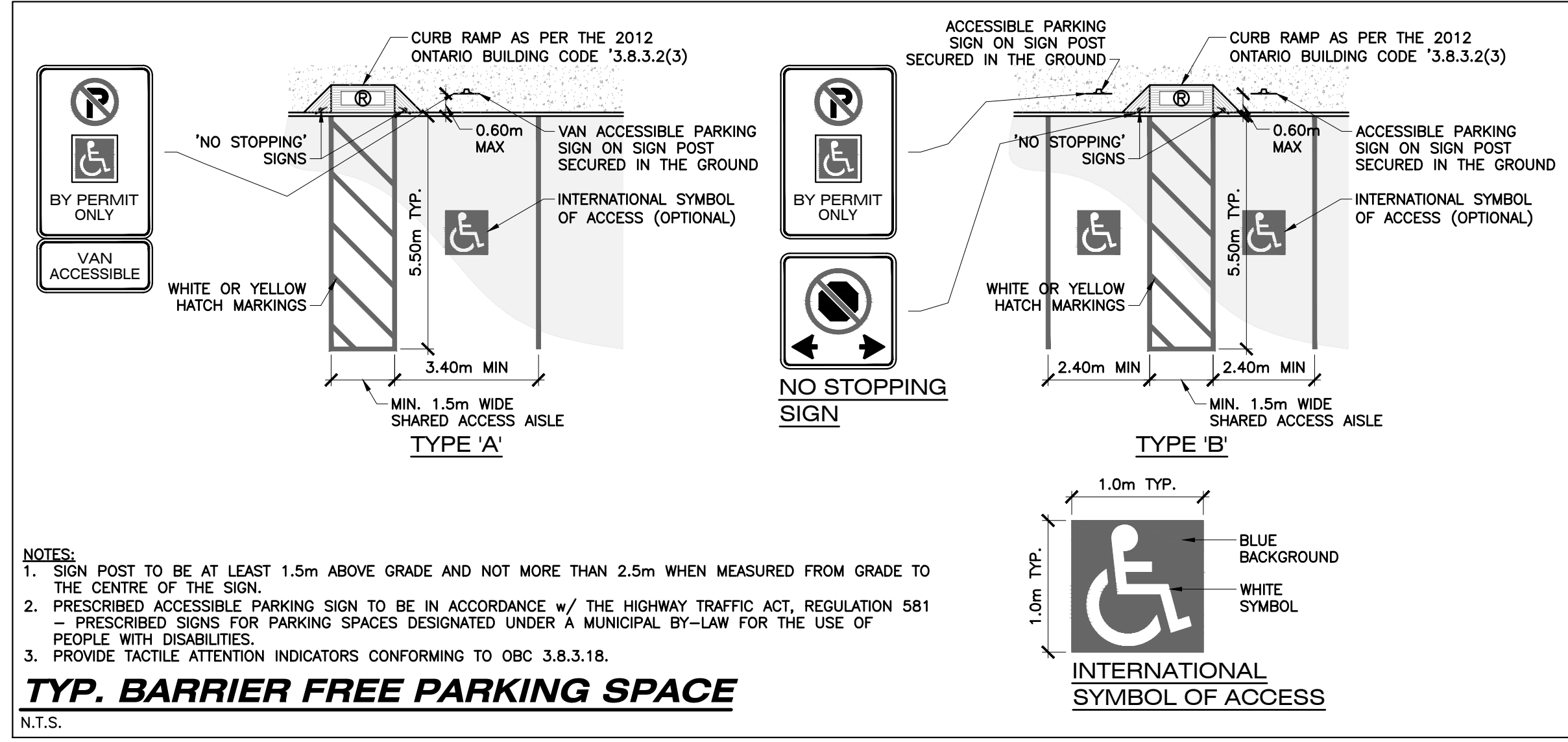
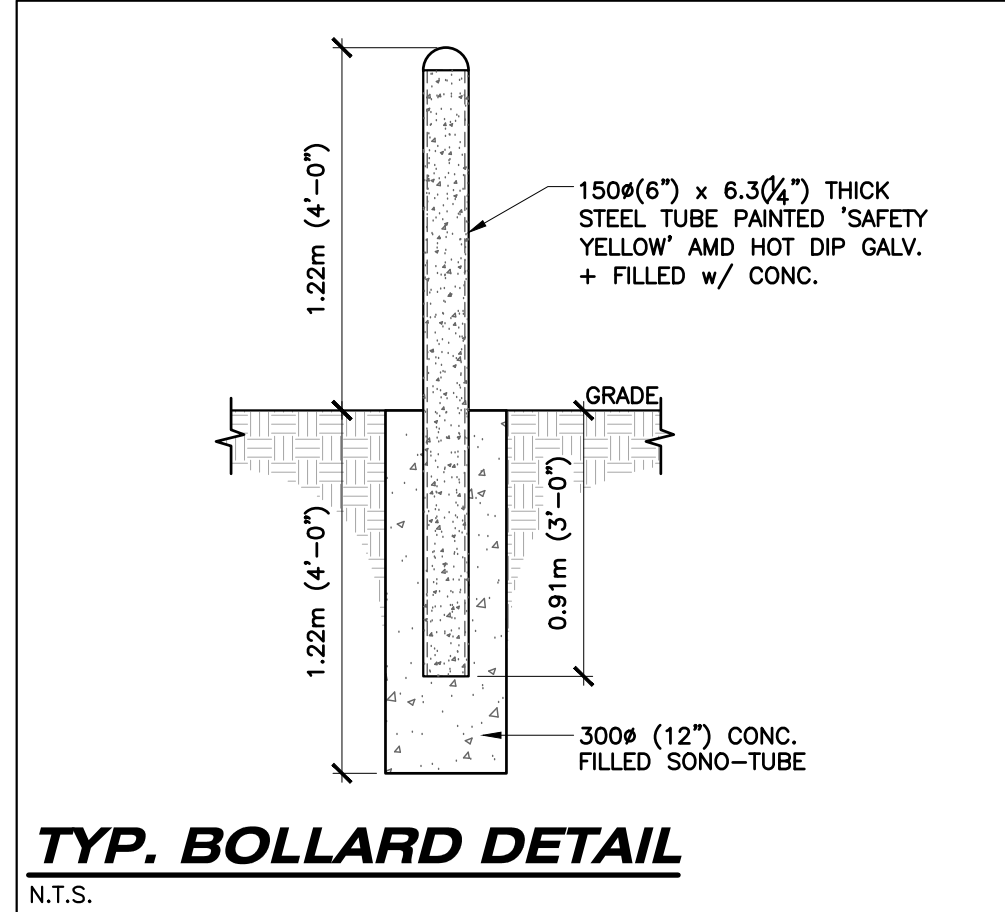
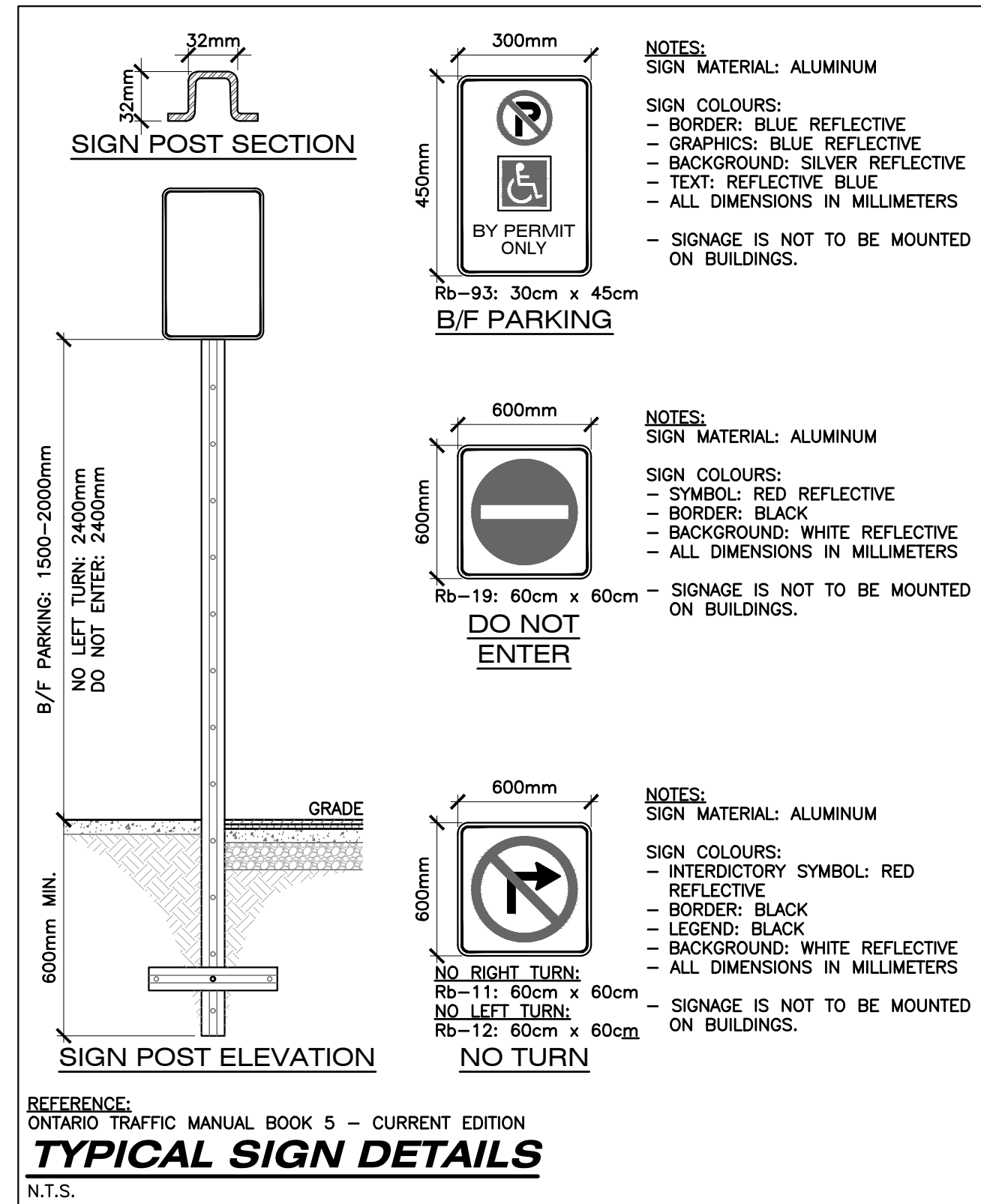
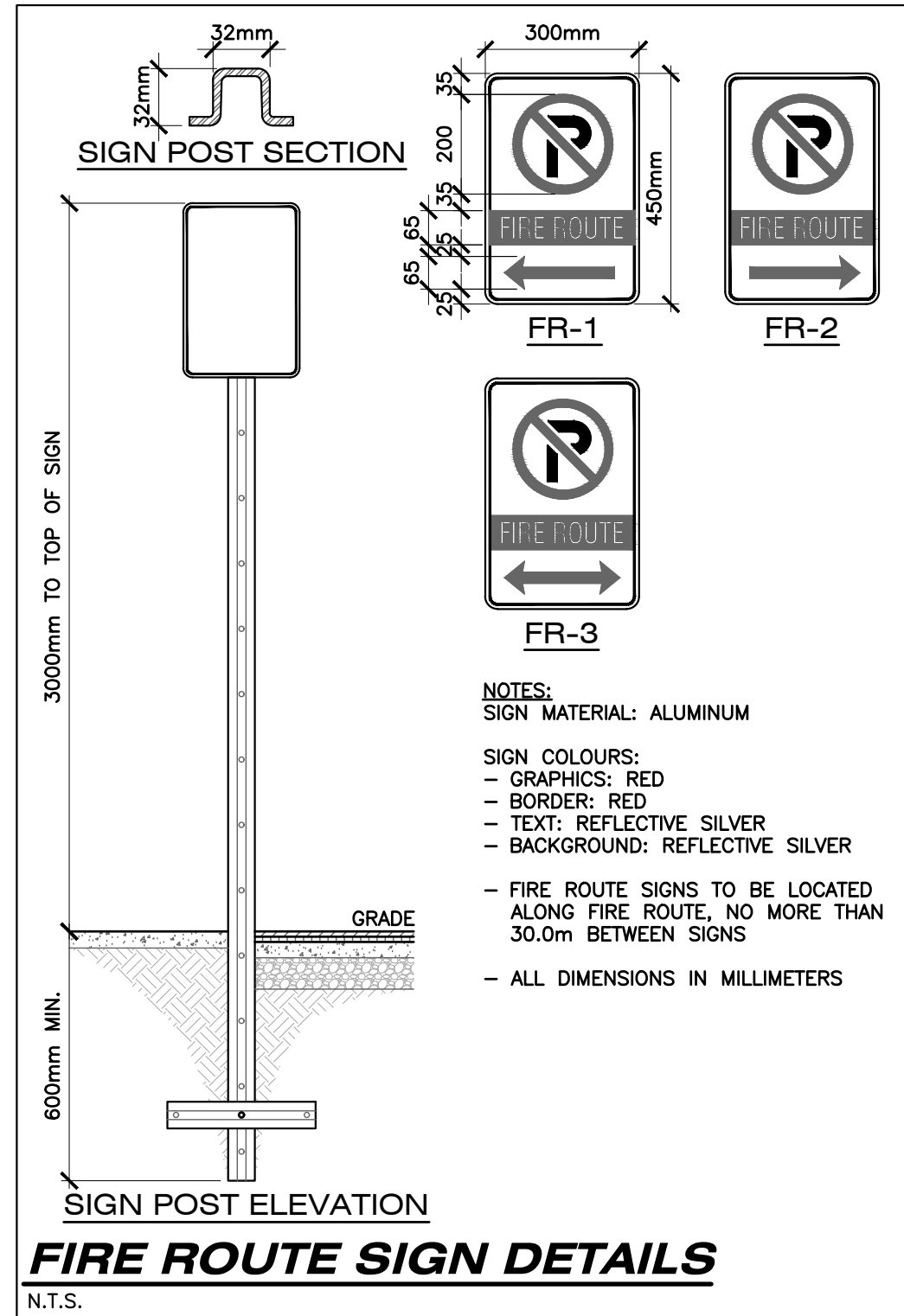
TITLE
SITE PLAN, ZONING DATA CHART AND LEGEND
COMMERCIAL DEVELOPMENT
1025 ELGIN STREET WEST
COBOURG, ON.

PROJECT No.
SBM-21-1211

SHEET No.
SP1

PLAN FILE No.
-

S:\2021\John\SBM-21-1211\Westdell\1025 Elgin Street West, Cobourg\03_Civil\03_Production Drawings\SBM-21-1211\Westdell\1025 Elgin Street West, Cobourg_Site Plans.dwg



AS CONSTRUCTED SERVICES	COMPLETION	No.	REVISIONS	D/M/Y	BY	CONSULTANT
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CLIENT
TRI BATE ASSET MANAGEMENT
782 RICHMOND STREET LONDON, ON N6A 3H5
P: 519.850.0000
E: INFO@WESTDELLCORP.COM

SCALE
N/A

TITLE
DETAILS
COMMERCIAL DEVELOPMENT
1025 ELGIN STREET WEST
COBOURG, ON.

PROJECT No.
SBM-21-1211

SHEET No.
SP2

PLAN FILE No.
—

GENERAL NOTES:

- 1. THE OWNER'S PROFESSIONAL ENGINEER IS REQUIRED TO FIELD REVIEW THE INSTALLATION OF SERVICES INCLUDED IN THIS PROJECT IN ACCORDANCE WITH THE GENERAL REVIEW COMMITMENT CERTIFICATION PROCESS...

CONSTRUCTION NOTES:

- 1. REFER TO THE SITE PLAN FOR LAYOUT DIMENSIONING AND SIGN/POST DETAILS. 2. THE OWNER'S CONTRACTOR IS TO CONTACT THE CONSULTING ENGINEER (SBM) FOR FINAL ONSITE REVIEW...

SURFACE WORKS NOTES:

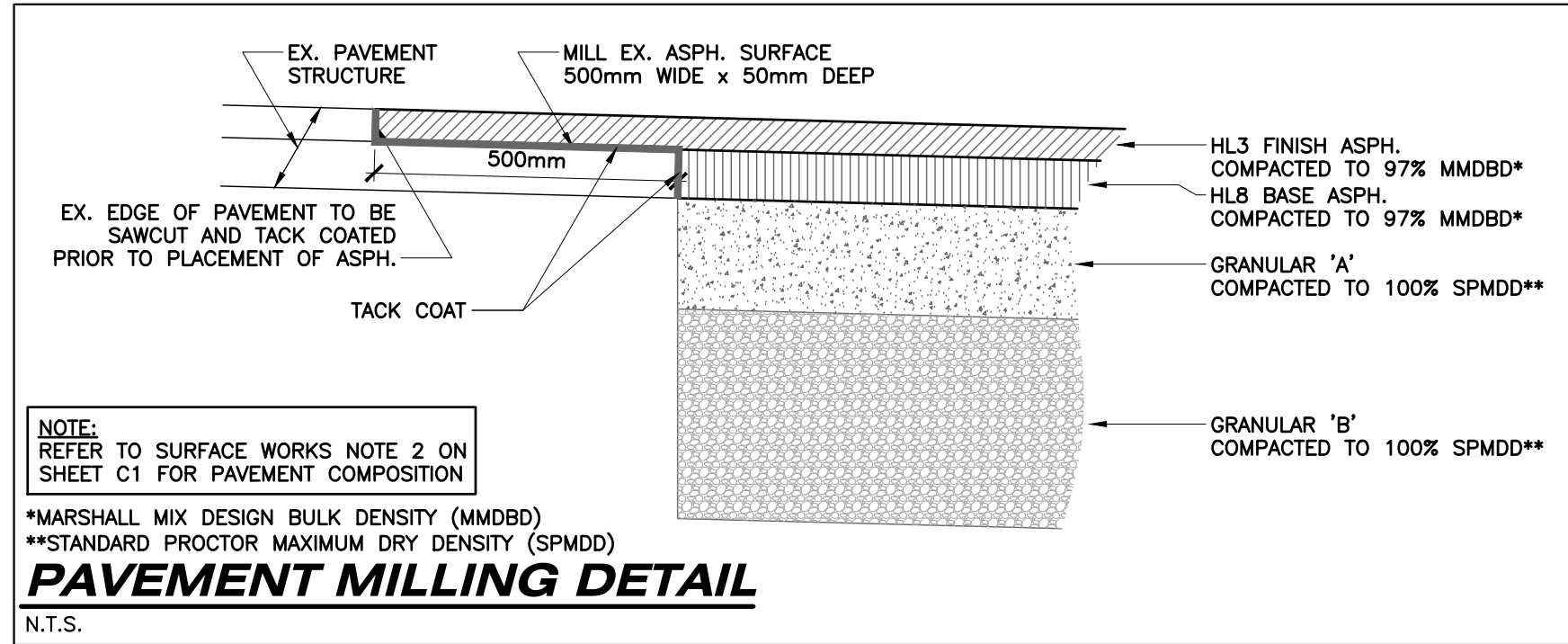
- 1. ALL WORK IN THE TOWN ROAD ALLOWANCE SHALL MEET THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE TOWN OF COBOURG ENGINEERING AND ENVIRONMENTAL SERVICES DEPARTMENT...

UTILITIES NOTES:

- 1. ALL WORK FOR COORDINATION, DESIGN, AND CONSTRUCTION OF UTILITIES IS BY OTHERS. SBM DESIGN AND DRAWINGS ARE FOR MUNICIPAL SERVICING ONLY...

REFERENCE DOCUMENTS:

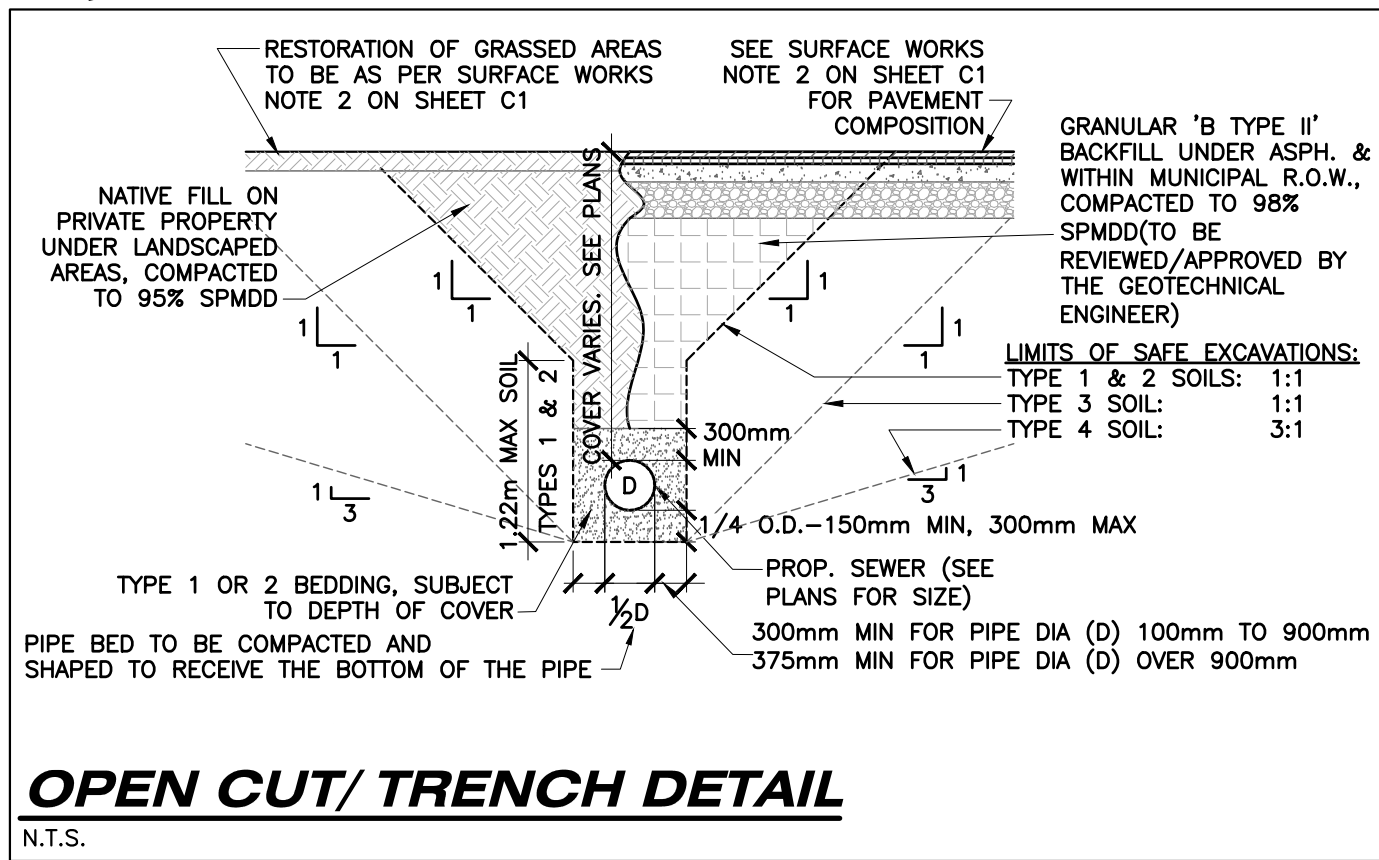
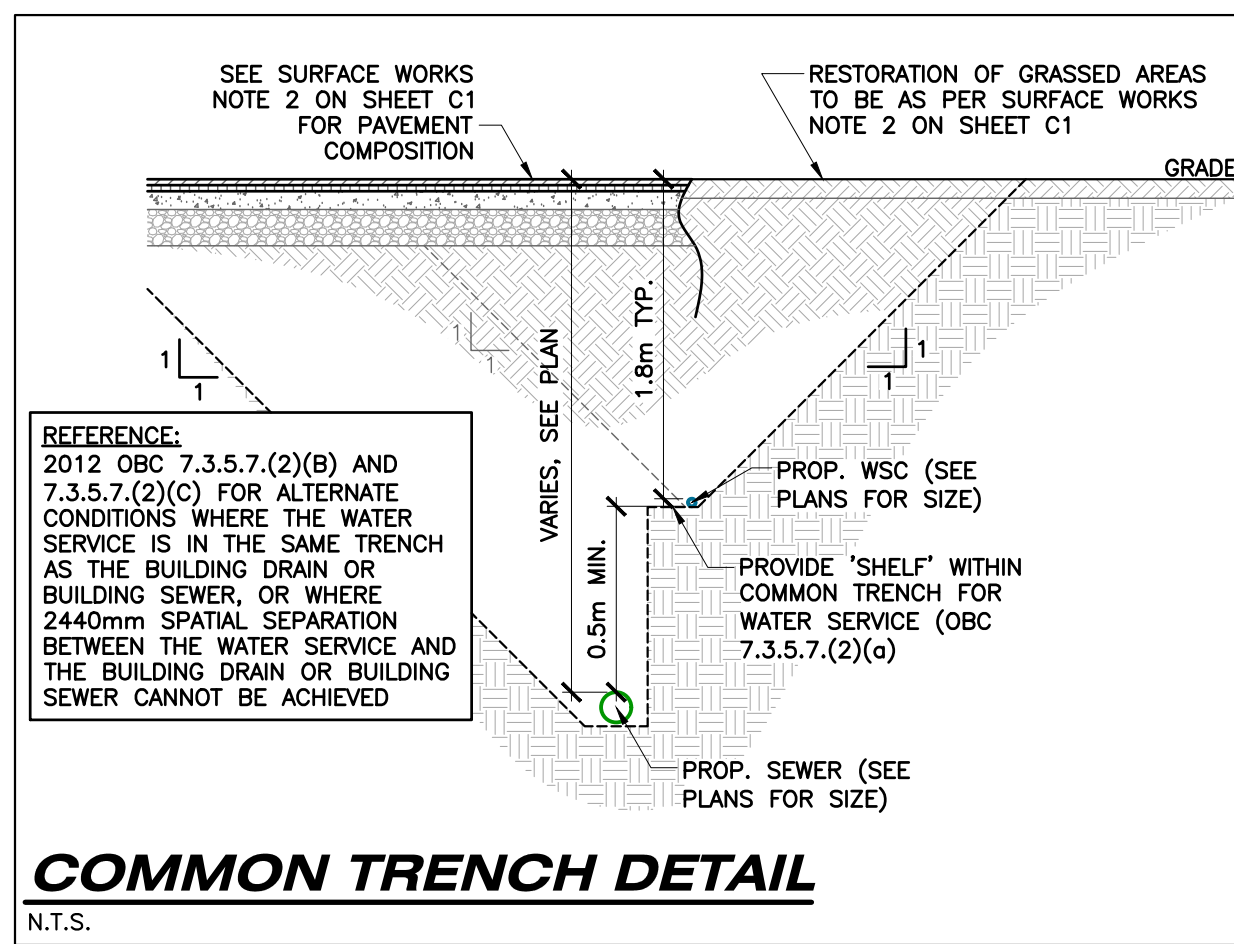
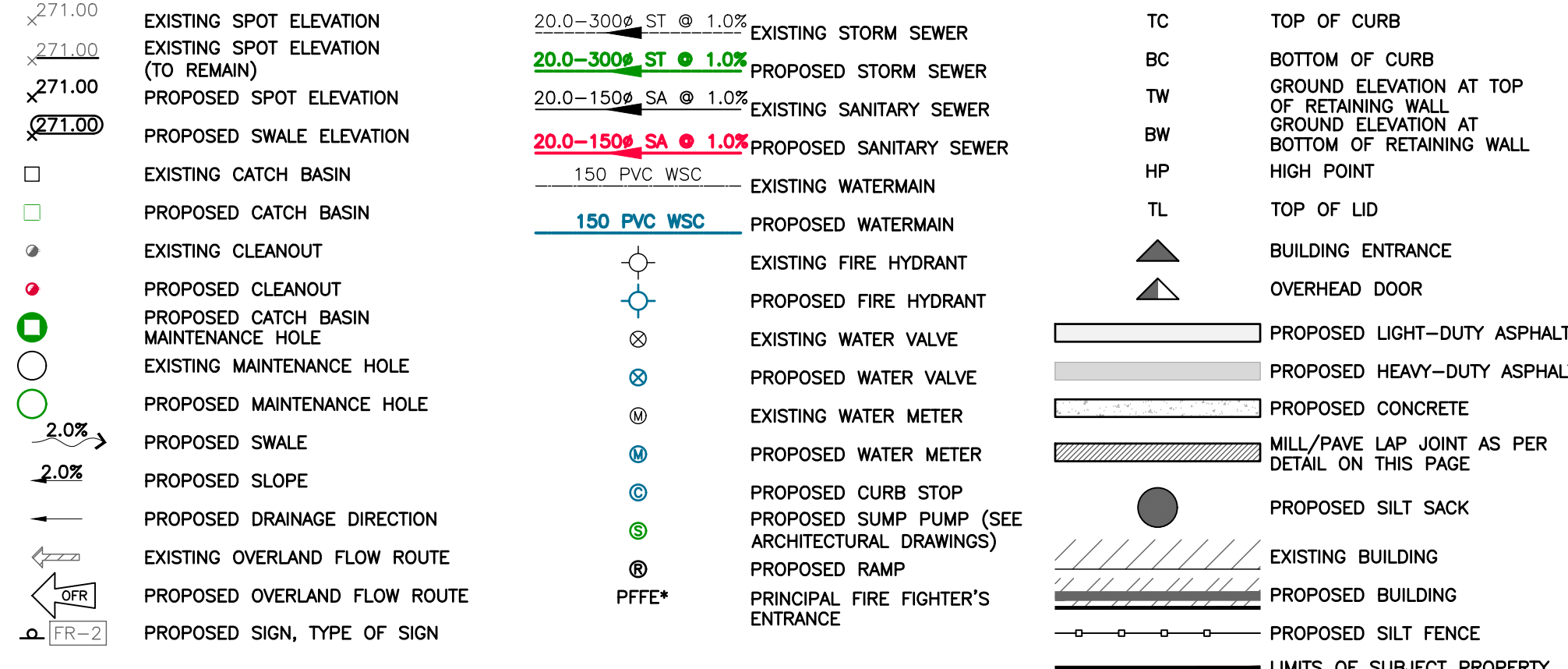
- 1. TOPOGRAPHICAL SURVEY PREPARED BY SBMG, FILE NO SBMG-21-0065, DATED APRIL 20, 2021.



SERVICING NOTES:

- 1. ALL STORM AND/OR SANITARY SEWER INSTALLATION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF COBOURG'S STANDARDS AND SPECIFICATIONS...

LEGEND:



LEGAL INFORMATION

PART OF LOT 21, CONCESSION A (GEOGRAPHIC TOWNSHIP OF HAMILTON) IN THE TOWN OF COBOURG COUNTY OF NORTHUMBERLAND

SITE BENCHMARK

BENCHMARK#1: MONUMENT TYPE: HYDRANT SPINDLE LOCATION: TOP OF HYDRANT SPINDLE LOCATED ON THE SOUTHEAST CORNER OF THE SUBJECT SITE.

GEODETIC ELEVATION (CGVD2013): 98.77m

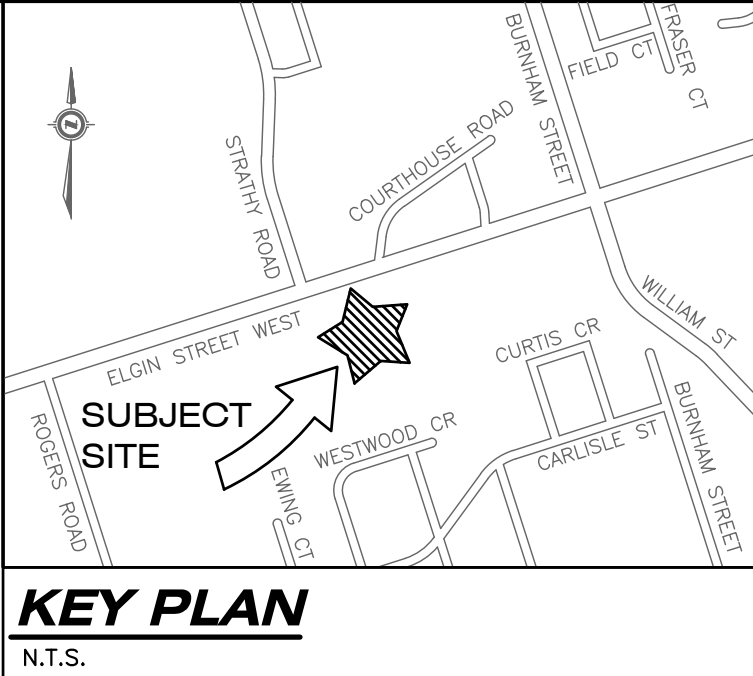
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GEODETIC ELEVATION (CGVD2013): 104.16m

(CONTRACTOR TO CONFIRM BENCHMARK ELEVATIONS)

LIST OF STANDARD DETAILS:

Table listing Ontario Provincial Standards for various construction details like silt fence, concrete sidewalks, and pavement markings.



LIST OF SUBMITTALS table listing items like shop drawings for storm and sanitary structures, retaining wall, and watermain testing results.

LIST OF ITEMS REQUIRING ENGINEER'S REVIEW table listing items like erosion and sediment control measures, on-site storm servicing, and final grading.

LIST OF DRAWINGS table mapping sheet numbers (SHEET C1 to C5) to drawing titles like Notes, Legend and Details, Existing Conditions, Site Servicing Plan, Site Grading Plan, and Standard Details.

Table with columns for AS CONSTRUCTED SERVICES, COMPLETION, No., REVISIONS, D/M/Y, and BY CONSULTANT.

Professional Engineer stamp for Strik Baldinelli Moniz, License No. 100228591, dated May 31, 2021.

Client information for TRI BATE ASSET MANAGEMENT, 782 RICHMOND STREET LONDON, ON N6A 3H5, contact info: P: 519.850.0000, E: INFO@WESTDELLCORP.COM

Notes, Legend and Details table with columns for PROJECT No. (SBM-21-1211), SHEET No. (C1), and PLAN FILE No.

SEDIMENT & EROSION CONTROL MEASURES:

- PROTECT ALL EXPOSED SURFACES AND CONTROL ALL RUNOFF DURING CONSTRUCTION.
- SEDIMENT AND EROSION CONTROL MEASURES TO BE REMOVED AT COMPLETION OF PROJECT (FOLLOWING COMPLETION OF BASE ASPHALT AND SOD).
- MAINTAIN EROSION CONTROL MEASURES DURING CONSTRUCTION.
- ALL COLLECTED SEDIMENT TO BE DISPOSED OF AT AN APPROVED LOCATION.
- MINIMIZE AREA DISTURBED DURING CONSTRUCTION.
- ALL DEWATERING TO BE DISPOSED OF IN AN APPROVED SEDIMENTATION BASIN.
- PROTECT ALL CATCH BASINS, MAINTENANCE HOLES AND PIPE ENDS FROM SEDIMENT INTRUSION WITH GEOTEXTILE FABRIC (TERRAFIX 270 R), SILT SACKS, OR APPROVED EQUAL.
- KEEP ALL SUMPS CLEAN DURING CONSTRUCTION.
- PREVENT WIND-BLOWN DUST.
- STRAW BALES TO BE USED IN LOCALIZED AREAS AS DIRECTED BY THE ENGINEER DURING CONSTRUCTION FOR WORKS WHICH ARE IN OR ADJACENT TO FLOOD LINES, FILL LINES AND HAZARDOUS SLOPES.
- STRAW BALES TO BE TERMINATED BY ROUNDING BALES TO CONTAIN AND FILTER RUNOFF.
- OBTAIN APPROVAL FROM THE GANARASKA REGION CONSERVATION AUTHORITY (GRCA) PRIOR TO CONSTRUCTION FOR WORKS WHICH ARE IN, OR ADJACENT TO FLOOD LINES, FILL LINES AND HAZARDOUS SLOPES.
- ALL SILT FENCING AND DETAILS ARE AT THE MINIMUM TO BE CONSTRUCTED IN ACCORDANCE WITH THE MINISTRY OF NATURAL RESOURCES GUIDELINES ON EROSION AND SEDIMENT CONTROL FOR URBAN CONSTRUCTION SITES.
- ALL OF THE ABOVE NOTES AND ANY SEDIMENT & EROSION CONTROL MEASURES ARE AT THE MINIMUM TO BE IN ACCORDANCE WITH THE MINISTRY OF NATURAL RESOURCES GUIDELINES ON EROSION AND SEDIMENT CONTROL FOR URBAN CONSTRUCTION SITES.
- SEDIMENT AND EROSION CONTROL MEASURES ARE TO BE INSPECTED WEEKLY OR FOLLOWING SIGNIFICANT RAINFALL EVENTS.
- ON-SITE SEDIMENT AND EROSION CONTROL MEASURES ARE TO BE REVIEWED AND MODIFIED TO MEET THE CHANGING SITE.
- SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REPAIRED WITHOUT DELAY BY THE OWNERS CONTRACTOR AS INSTRUCTED BY THE CONTRACT ADMINISTRATOR/ENGINEER AT NO EXPENSE TO THE OWNER.

UTILITIES NOTE:
FOR CLARITY, NOT ALL EXISTING UTILITIES MAY BE SHOWN. THE OWNER'S CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL UTILITY LOCATES PRIOR TO CONSTRUCTION.

OWNER'S CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO AVOID MIXING TOPSOIL WITH SUBSOIL, WHERE REQUIRED FOR REUSE ON-SITE.

TOPSOIL STOCKPILE SIZES/LOCATIONS TO BE DETERMINED IN THE FIELD. SILT FENCE SHALL BE CONSTRUCTED AT TOE OF DOWNGRADE EDGES OF TOPSOIL STOCKPILE.

ALL NATIVE FILL PLACED SHALL MEET THE REQUIREMENTS FOR ENGINEERED FILL, COMPACTED TO 100% SPMDR OR AS OUTLINED IN THE GEOTECHNICAL REPORT.

BOULEVARD AREAS AND CONCRETE SIDEWALKS DISTURBED DURING INSTALLATION OF SERVICES SHALL BE RESTORED TO MATCH EX. CONDITION OR SURFACE WORKS NOTES ON SHEET C1, WHICHEVER IS GREATER, ALL AT NO COST TO THE TOWN.

SILT SACKS (OR APPROVED EQUAL) SHALL BE INSTALLED AND MAINTAINED IN EXISTING CB'S AND PROPOSED CB'S AND CBM'S FOR DURATION OF PROJECT UNTIL SURFACES ARE PAVED AND BOULEVARDS ARE SODDED.

SILT FENCE TO BE CONSTRUCTED ON PROPERTY LINE. LINE WORK IS SHOWN AS OFFSET FOR CLARITY.

OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR REGULAR MONITORING & CLEANUP OF TRACKED MUD/DEBRIS ON ADJACENT LANDS & PUBLIC ROADS TO THE SATISFACTION OF THE ENGINEER/TOWN OF COBOURG.

DISPOSAL NOTE:
ALL ITEMS NOTED AS "TO BE REMOVED" SHALL BE DISCARDED OFF-SITE AT AN APPROVED FACILITY.

OWNER'S CONTRACTOR TO CLEAR AND GRUB SITE PRIOR TO CONSTRUCTION AND DISPOSE OF ALL DEBRIS AND EXCESS FILL/TOPSOIL OFF-SITE AT AN APPROVED FACILITY.

EXISTING SERVICING NOTE:
INVERTS OF THE EX. SANITARY & STORM SEWERS @ CONNECTION POINTS SHALL BE CONFIRMED BY THE OWNER'S CONTRACTOR PRIOR TO THE START OF CONSTRUCTION/ORDERING STRUCTURES. THE CONSULTANT IS TO BE INFORMED IF DIFFERENT THAN NOTED.

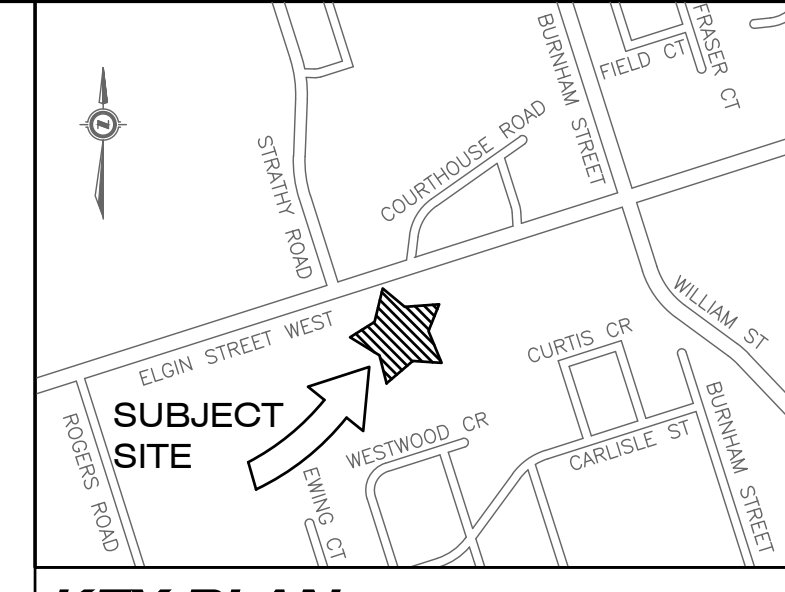
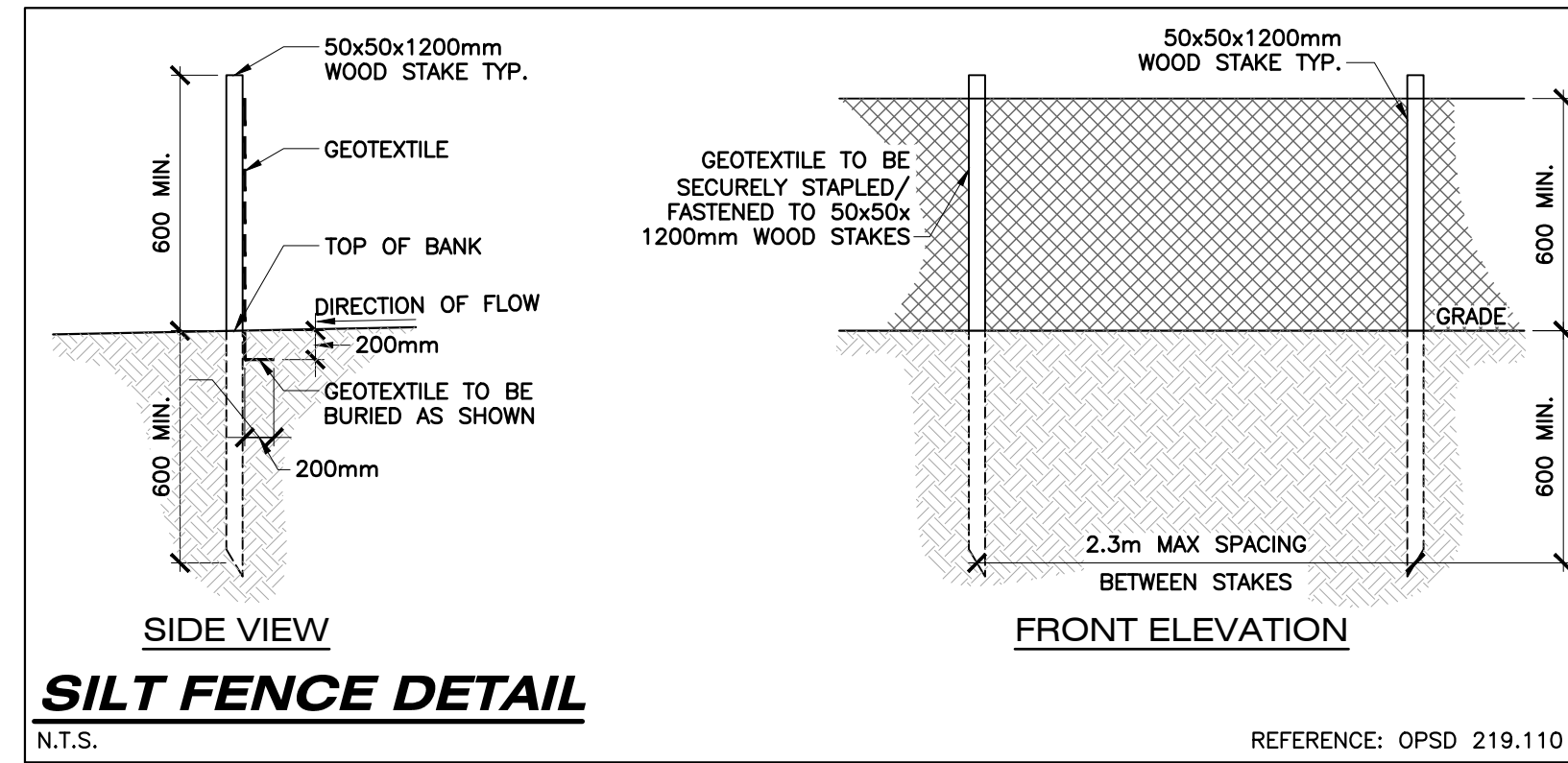
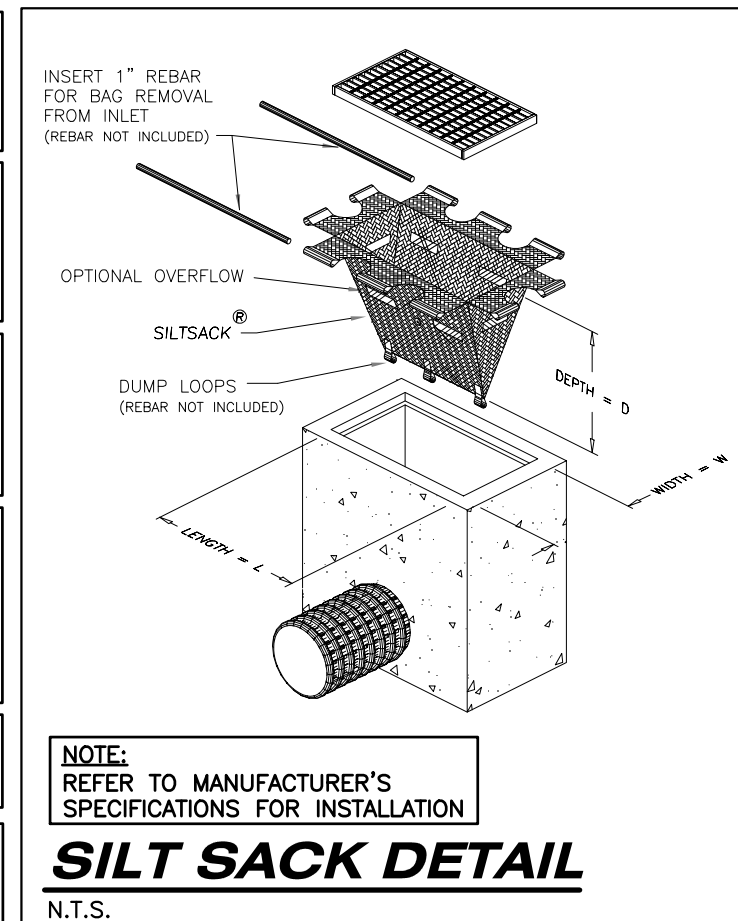
RESTORATION NOTE:
ALL WORK IN THE ROAD ALLOWANCE SHALL MEET THE MINIMUM SPECIFICATIONS OF THE TOWN OF COBOURG ENGINEERING AND ENVIRONMENTAL SERVICES DEPARTMENT, ARE TO BE APPLIED TO WORKS WITHIN THE TOWN ROAD ALLOWANCE UNLESS OTHERWISE APPROVED BY THE TOWN.

SITE PREPARATION NOTE:
THIS PLAN HAS BEEN PREPARED TO IDENTIFY REMOVALS, EROSION & SEDIMENT CONTROL MEASURES AND TEMPORARY CONSTRUCTION WORKS FOR THE BENEFIT OF THE OWNER'S CONTRACTOR IN ADVANCE OF SERVICING WORKS. IT IS NOT INTENDED TO IDENTIFY PERMANENT GRADING PATTERNS.

STORM DRAINAGE NOTE:
STORM DRAINAGE MAY TEMPORARILY NEED TO BE CONTROLLED AND PUMPED FROM STORM SEWER SYSTEM. ANY SUCH TEMPORARY MEASURES SHALL BE CONDUCTED AT NO EXTRA COST TO THE CONTRACT AND BE BASED UPON THE OWNER'S CONTRACTOR'S WATER CONTROL PLANS, WHICH MUST BE APPROVED BY THE CONTRACT ADMINISTRATOR/ENGINEER PRIOR TO CONSTRUCTION.

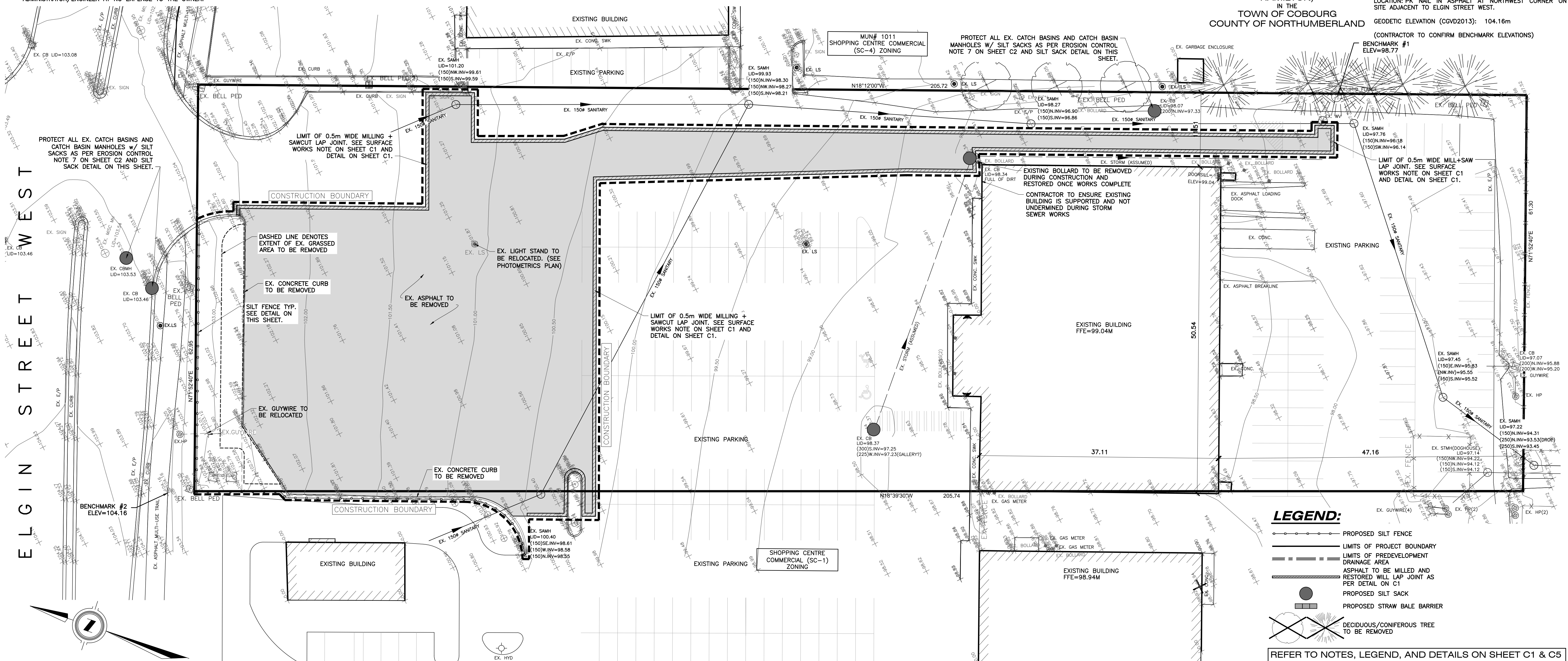
UNLESS OTHERWISE NOTED ON THE PLANS, GEOTEXTILE SHALL BE NON-WOVEN TO MEET CLASS 2-OPSS 1860.07.02 (I.E. TERRAFIX 270R, OR APPROVED EQUAL) WITH 300mm MIN. OVERLAPS.

THE OWNER'S CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL MEASURES IN COMPLIANCE WITH THE ONTARIO TRAFFIC MANUAL BOOK 7 AND BOOK 18 FOR ALL WORKS WITHIN THE CITY RIGHT-OF-WAY. THE OWNER'S CONTRACTOR SHALL SUBMIT TRAFFIC CONTROL PLANS TO THE CITY/ENGINEER FOR REVIEW PRIOR TO PROCEEDING WITH CONSTRUCTION.



LEGAL INFORMATION

PART OF
LOT 21, CONCESSION A
(GEOGRAPHIC TOWNSHIP OF HAMILTON)
IN THE
TOWN OF COBOURG
COUNTY OF NORTHUMBERLAND



AS CONSTRUCTED SERVICES	COMPLETION	No.	REVISIONS	D/M/Y	BY	CONSULTANT
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ENGINEER'S STAMP

CLIENT

TRI BATE ASSET MANAGEMENT
782 RICHMOND STREET
LONDON, ON N6A 3H5
P: 519.850.0000
E: INFO@WESTDELLCORP.COM

SCALE

TITLE

EXISTING CONDITIONS, REMOVALS, AND SEDIMENT & EROSION CONTROL PLAN

COMMERCIAL DEVELOPMENT

1025 ELGIN STREET WEST
COBOURG, ON.

PROJECT No. **SBM-21-1211**

SHEET No. **C2**

PLAN FILE No. _____

OFF-SITE WORKS NOTE:
 PERMIT OF APPROVED WORKS FOR ALL EXTERNAL WORKS IS REQUIRED.

EXISTING SERVICING NOTE:
 INVERTS OF THE EX. SANITARY & STORM SEWERS @ CONNECTION POINTS SHALL BE CONFIRMED BY THE OWNER'S CONTRACTOR PRIOR TO THE START OF CONSTRUCTION/ORDERING STRUCTURES. THE CONSULTANT IS TO BE INFORMED IF DIFFERENT THAN NOTED.

RESTORATION NOTE:
 ALL WORK IN THE ROAD ALLOWANCE SHALL MEET THE MINIMUM SPECIFICATIONS OF THE TOWN OF COBOURG ENGINEERING AND ENVIRONMENTAL SERVICES DEPARTMENT, ARE TO BE APPLIED TO WORKS WITHIN THE TOWN ROAD ALLOWANCE UNLESS OTHERWISE APPROVED BY THE TOWN.

SERVICE STUBS TO BE CAPPED AT 1.0m O/S FROM BUILDING ENVELOPE FOR CONNECTION ONCE BUILDING SERVICES ARE INSTALLED.

OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY CONSTRUCTION MEASURES SUCH AS, BUT NOT LIMITED TO, PIPE COVER AT NO ADDITIONAL CHARGE TO THE CONTRACT.

STORM SERVICING NOTE:
 NO BUILDING DRAIN (SUMP/WEeping TILE/RAIN WATER LEADER) CONNECTIONS WILL BE PERMITTED INTO THE SANITARY SEWERS AND NO DIRECT GRAVITY CONNECTIONS FROM THE FOUNDATION DRAINS WILL BE PERMITTED TO THE STORM SYSTEM UNLESS THE STORM SYSTEM HAS THE CAPACITY TO PROVIDE FOR SUCH CONNECTIONS TO THE SATISFACTION OF THE TOWN ENGINEER.

ALL PROP WATER METERS ARE c/w DOUBLE CHECK VALVE ASSEMBLIES (DCVA) FOR PREMISE ISOLATION

THE OWNER'S CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL MEASURES IN COMPLIANCE WITH THE ONTARIO TRAFFIC MANUAL BOOK 7 AND BOOK 18 FOR ALL WORKS WITHIN THE TOWN RIGHT-OF-WAY. THE OWNER'S CONTRACTOR SHALL SUBMIT TRAFFIC CONTROL PLANS TO THE TOWN/ENGINEER FOR REVIEW PRIOR TO PROCEEDING WITH CONSTRUCTION.

ALL WATERMAIN CONSTRUCTION TO CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF COBOURG ENGINEERING DEPARTMENT. WHERE COVER IS LESS THAN 1.7m (EVEN TEMPORARY CONDITIONS), THE WATERMAIN/SERVICE SHALL BE ADEQUATELY INSULATED OVER THE AFFECTED LENGTH.

WATERMAIN & SEWER CROSSING NOTE:
 1. UNDER PRACTICAL CONDITIONS, WATERMANS SHALL CROSS ABOVE SEWERS WITH SUFFICIENT VERTICAL SEPARATION TO ALLOW FOR PROPER BEDDING AND STRUCTURAL SUPPORT OF THE WATERMAIN AND SEWER. INSULATE AS PER OPSD 1109.030 (WHERE REQUIRED). *ON SITE VERTICAL SEPARATION AS 0.5m PER OBC 7.3.5.7(2)(a)(i).
 2. WHEN IT IS NOT POSSIBLE FOR THE WATERMAIN TO CROSS ABOVE THE SEWER, THE WATERMAIN PASSING UNDER A SEWER SHALL BE PROTECTED BY:
 2.1. PROVIDING A VERTICAL SEPARATION OF AT LEAST 0.5 METRES BETWEEN THE INVERT OF THE SEWER AND THE CROWN OF THE WATERMAIN;
 2.2. PROVIDING ADEQUATE STRUCTURAL SUPPORT FOR THE SEWERS TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING; AND
 2.3. ENSURING THAT THE LENGTH OF WATER PIPE SHALL BE CENTERED AT THE POINT OF CROSSING SO THAT THE JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE SEWER.

REFERENCE: JUNE 2012 MINISTRY OF THE ENVIRONMENT'S 'WATERMAIN DESIGN CRITERIA FOR FUTURE ALTERATION AUTHORIZED UNDER A DRINKING WATER WORKS PERMIT'

INSULATION NOTE:
 INSULATE SEWERS + WATER PIPES AS PER THE TOWN OF COBOURG STANDARD DRAWING OPSD 1109.030 'INSULATION FOR SEWER AND WATERMAIN IN SHALLOW TRENCHES' WHERE 1.70m (1.22m FOR ON-SITE SEWERS) COVER CAN NOT BE PROVIDED.

UTILITIES NOTE:
 FOR CLARITY, NOT ALL EXISTING UTILITIES MAY BE SHOWN. THE OWNER'S CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL UTILITY LOCATES PRIOR TO CONSTRUCTION.

OWNER'S CONTRACTOR SHALL SUPPORT ALL EXISTING UTILITIES AS REQUIRED DURING THE INSTALLATION OF SERVICES TO THE SATISFACTION OF THE UTILITY OWNER AT NO EXTRA COST TO THE CONTRACT.

BOULEVARD AREAS AND CONCRETE SIDEWALKS DISTURBED DURING INSTALLATION OF SERVICES SHALL BE RESTORED TO MATCH EX. CONDITION OR SURFACE WORKS NOTES ON SHEET C1, WHICHEVER IS GREATER, ALL AT NO COST TO THE TOWN.

FOR CLARITY, NOT ALL EXISTING UTILITIES WITHIN THE RIGHT-OF-WAY MAY BE SHOWN

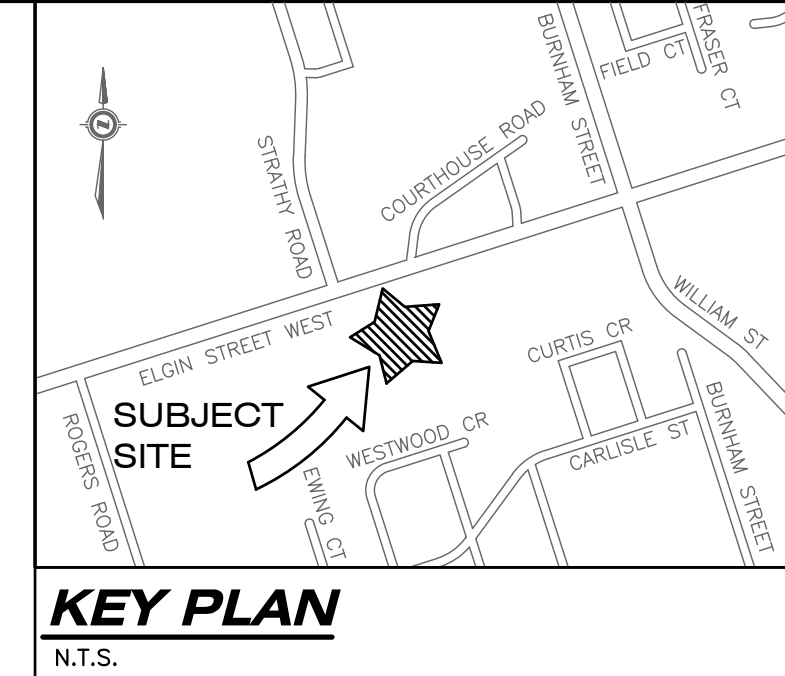
STORM DRAINAGE NOTE:
 STORM DRAINAGE MAY TEMPORARILY NEED TO BE CONTROLLED AND PUMPED FROM STORM SEWER SYSTEM. ANY SUCH TEMPORARY MEASURES SHALL BE CONDUCTED AT NO EXTRA COST TO THE CONTRACT AND BE BASED UPON THE OWNER'S CONTRACTORS WATER CONTROL PLANS, WHICH MUST BE APPROVED BY THE CONTRACT ADMINISTRATOR/ENGINEER PRIOR TO CONSTRUCTION.

ALL CLEARANCES TO ELECTRICAL CONDUCTORS AS SET OUT IN THE CURRENT OBC DIV. B-3.1.19.1 'ELECTRICAL CONDUCTOR CLEARANCES TO BUILDINGS' SHALL BE MAINTAINED

SITE BENCHMARK

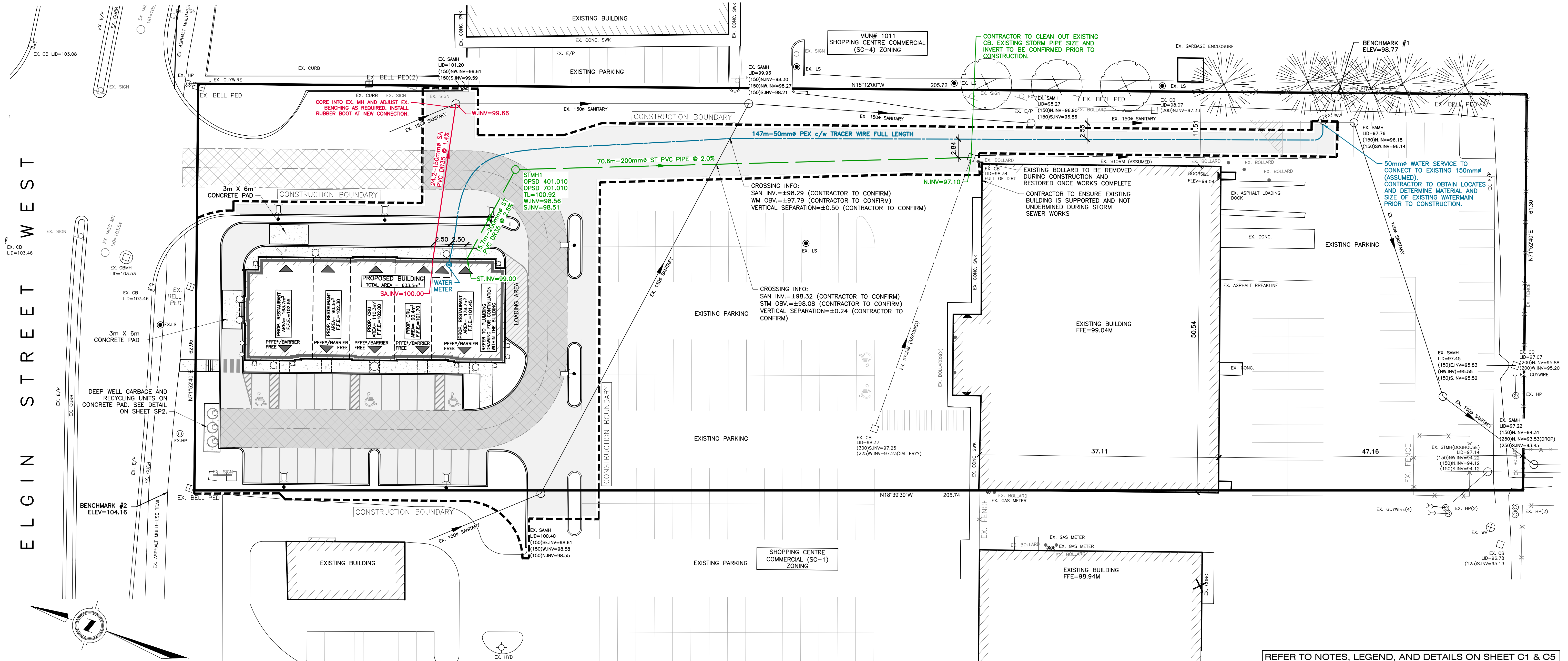
BENCHMARK #1:
 MONUMENT TYPE: HYDRANT SPINDLE
 LOCATION: TOP OF HYDRANT SPINDLE LOCATED ON THE SOUTHEAST CORNER OF THE SUBJECT SITE.
 GEODETIC ELEVATION (CGVD2013): 98.77m

BENCHMARK #2:
 MONUMENT TYPE: PK NAIL
 LOCATION: PK NAIL IN ASPHALT AT NORTHWEST CORNER ON SITE ADJACENT TO ELGIN STREET WEST.
 GEODETIC ELEVATION (CGVD2013): 104.16m
 (CONTRACTOR TO CONFIRM BENCHMARK ELEVATIONS)



LEGAL INFORMATION

PART OF
 LOT 21, CONCESSION A
 (GEOGRAPHIC TOWNSHIP OF
 HAMILTON)
 IN THE
 TOWN OF COBOURG
 COUNTY OF NORTHUMBERLAND



REFER TO NOTES, LEGEND, AND DETAILS ON SHEET C1 & C5

AS CONSTRUCTED SERVICES	COMPLETION	No.	REVISIONS	D/M/Y	BY	CONSULTANT
DESIGN	CM	1	FOR REVIEW/APPROVAL	18/05/21	CJ	 STRIK BALDINELLI MONIZ PLANNING - CIVIL - STRUCTURAL - MECHANICAL - ELECTRICAL 1599 Adelaide St. N, Unit 301, London, Ontario, N5X 4E8 Tel: (519) 471-6667 Fax: (519) 471-0034 Email: sbm@sbmtd.ca
DRAWN	CJ	2	ISSUED FOR SPA	28/05/21	CJ	
CHECKED	LS/BH					
APPROVED	BH					
DATE						
CAD		21-1211				

ENGINEER'S STAMP

CLIENT

TRI BATE ASSET MANAGEMENT
 782 RICHMOND STREET
 LONDON, ON N6A 3H5
 P: 519.850.0000
 E: INFO@WESTDELLCORP.COM

SCALE

SCALE - 1:300
 3.0 0 6.0m

TITLE

SITE SERVICING PLAN
COMMERCIAL DEVELOPMENT
 1025 ELGIN STREET WEST
 COBOURG, ON.

PROJECT No.

SBM-21-1211

SHEET No.

C3

PLAN FILE No.

S:\2021\John\SBM-21-1211\Westdell\1025 Elgin Street West, Cobourg\03_Civil\03_Production Drawings\SBM-21-1211_Westdell\1025 Elgin Street West, Cobourg - ServicingPlan.dwg

TACTILE PLATE NOTE:
CAST IRON TACTILE PLATES POWDER COATED RED ARE REQUIRED IN THE SIDEWALK RAMP PER AODA LEGISLATION, OPSD 310.033, AND OPSD 310.039.

PERMIT REQUIRED FOR OFF-SITE WORKS:

RESTORATION NOTE:
ALL WORK IN THE ROAD ALLOWANCE SHALL MEET THE MINIMUM SPECIFICATIONS OF THE TOWN OF COBOURG ENVIRONMENTAL AND ENGINEERING SERVICES DEPARTMENT, ARE TO BE APPLIED TO WORKS WITHIN THE TOWN ROAD ALLOWANCE UNLESS OTHERWISE APPROVED BY THE TOWN.

FOR GRADING ON ADJACENT LANDS, IF REQUIRED, DEVELOPER SHALL OBTAIN WRITTEN APPROVAL FROM ADJACENT LAND OWNER.

BOULEVARD AREAS AND CONCRETE SIDEWALKS DISTURBED DURING INSTALLATION OF SERVICES SHALL BE RESTORED TO MATCH EX. CONDITION OR SURFACE WORKS NOTES ON SHEET C1, WHICHEVER IS GREATER, ALL AT NO COST TO THE TOWN.

ALL CLEARANCES TO ELECTRICAL CONDUCTORS AS SET OUT IN THE CURRENT OBC DIV. B-3.1.19.1 "ELECTRICAL CONDUCTOR CLEARANCES TO BUILDINGS" SHALL BE MAINTAINED

THE OWNER'S CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL MEASURES IN COMPLIANCE WITH THE ONTARIO TRAFFIC MANUAL BOOK 7 AND BOOK 18 FOR ALL WORKS WITHIN THE TOWN RIGHT-OF-WAY. THE OWNER'S OWNER'S CONTRACTOR SHALL SUBMIT TRAFFIC CONTROL PLANS TO THE TOWN/ENGINEER FOR REVIEW PRIOR TO PROCEEDING WITH CONSTRUCTION.

GRADING CERTIFICATE:

I HEREBY CERTIFY THAT THE PROPOSED GRADING AND APPURTENANT DRAINAGE WORKS COMPLY WITH SOUND ENGINEERING DESIGN AND THAT THE PROPOSED GRADING IS COMPATIBLE WITH EXISTING DRAINAGE PATTERNS ON AND ACROSS THESE LANDS AND THE ADJOINING LANDS OR APPLICABLE CITY BY-LAWS.

GRADING NOTES:

- EXISTING GRADES AND DRAINAGE OF ABUTTING LANDS IS NOT TO BE DISTURBED.
- GROUND ELEVATIONS AT BUILDINGS ABUTTING OVERLAND FLOW ROUTES ARE TO BE 225 ABOVE OVERLAND FLOW ROUTE ELEVATIONS.
- GROUND ELEVATIONS AT BUILDING OPENING ABUTTING OVERLAND FLOW ROUTES ARE TO BE 450mm ABOVE OVERLAND FLOW ROUTE ELEVATIONS.
- SUMP PUMP DISCHARGE MUST BE DIRECTED TO THE STORM SEWER VIA THE STORM PDC. NO SANITARY SEWER CONNECTIONS PERMITTED.
- A MINIMUM OF 150mm (6") FROM THE TOP OF FOUNDATION TO THE FINISHED GRADE OUTSIDE THE BUILDING MUST BE PROVIDED, TYPICAL.
- RETAINING WALLS, 1000mm OR GREATER, & GUARD RAILS ON TOP (IF REQUIRED) ARE TO BE DESIGNED BY AND CONSTRUCTED TO THE SPECIFICATIONS OF A REGISTERED PROFESSIONAL ENGINEER IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.
- THE MIN. TOP OF FOUNDATION ELEVATION, UNDERSIDE OF FOOTING ELEVATION, BASEMENT WINDOW SILL ELEVATION, ETC. ARE TO BE CONFIRMED BY THE CONTRACTOR IN CONSULTATION WITH THE BUILDING DESIGNER, BASED ON THE FINISHED FLOOR ELEVATION PROVIDED. CONTACT STRIK, BALDINELLI, MONIZ LTD. (SBM) FOR CLARIFICATION, IF REQUIRED.

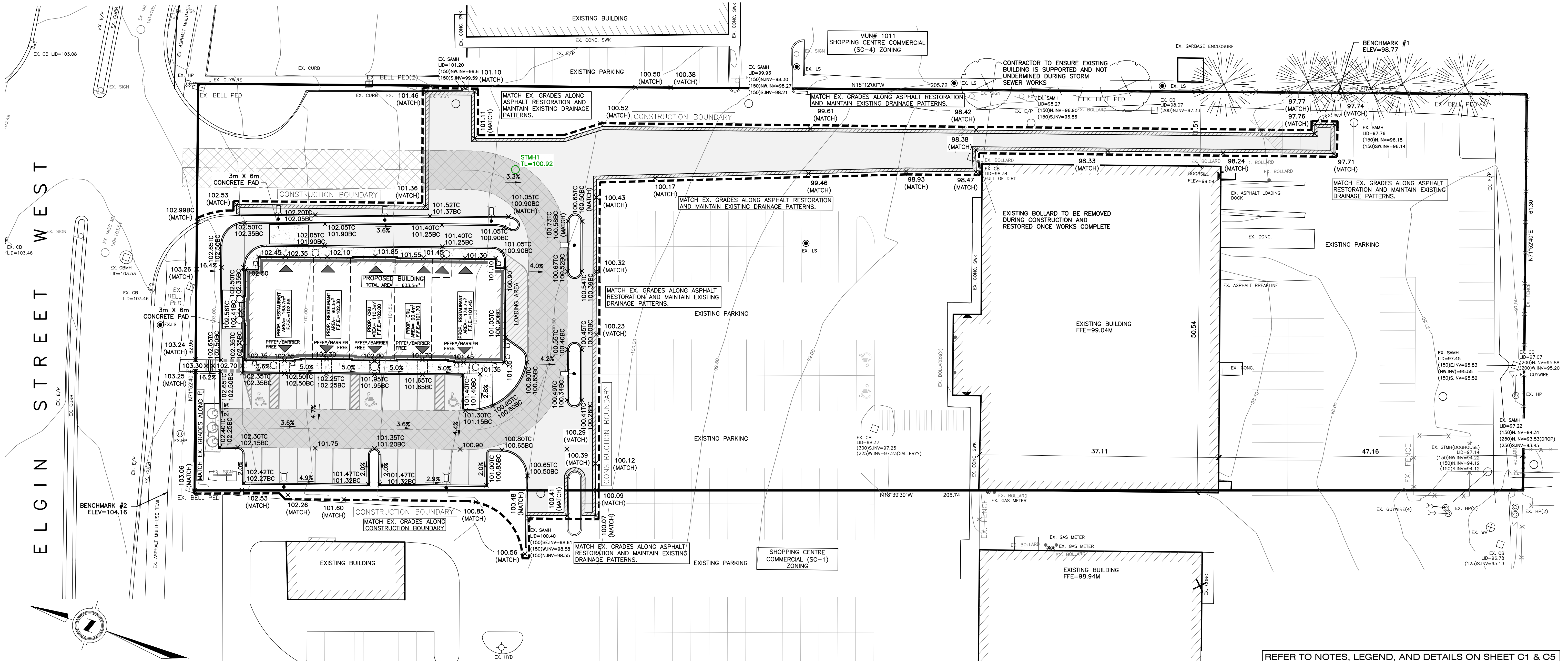
SITE BENCHMARK

BENCHMARK #1:
MONUMENT TYPE: HYDRANT SPINDLE
LOCATION: TOP OF HYDRANT SPINDLE LOCATED ON THE SOUTHEAST CORNER OF THE SUBJECT SITE.
GEODETIC ELEVATION (CGVD2013): 98.77m

BENCHMARK #2:
MONUMENT TYPE: PK NAIL
LOCATION: PK NAIL IN ASPHALT AT NORTHWEST CORNER OF SITE ADJACENT TO ELGIN STREET WEST.
GEODETIC ELEVATION (CGVD2013): 104.16m
(CONTRACTOR TO CONFIRM BENCHMARK ELEVATIONS)

KEY PLAN
N.T.S.

LEGAL INFORMATION
PART OF
LOT 21, CONCESSION A
(GEOGRAPHIC TOWNSHIP OF HAMILTON)
IN THE
TOWN OF COBOURG
COUNTY OF NORTHUMBERLAND



REFER TO NOTES, LEGEND, AND DETAILS ON SHEET C1 & C5

AS CONSTRUCTED SERVICES	COMPLETION	No.	REVISIONS	D/M/Y	BY	CONSULTANT
	DESIGN	CM	1	FOR REVIEW/APPROVAL	18/05/21	CJ
	DRAWN	CJ	2	ISSUED FOR SPA	28/05/21	CJ
	CHECKED	LS/BH				
	APPROVED	BH				
	DATE			28/05/2021		
	CAD	21-1211				

STRIK BALDINELLI MONIZ
PLANNING - CIVIL - STRUCTURAL - MECHANICAL - ELECTRICAL
1599 Adelaide St. N, Unit 301, London, Ontario, N5X 4E8
Tel: (519) 471-6667 Fax: (519) 471-0034
Email: sbm@sbmltd.ca

ENGINEER'S STAMP
B. R. HYLAND
100228591
May 31, 2021
PROVINCE OF ONTARIO

CLIENT
TRI BATE ASSET MANAGEMENT
782 RICHMOND STREET
LONDON, ON N6A 3H5
P: 519.850.0000
E: INFO@WESTDELLCORP.COM

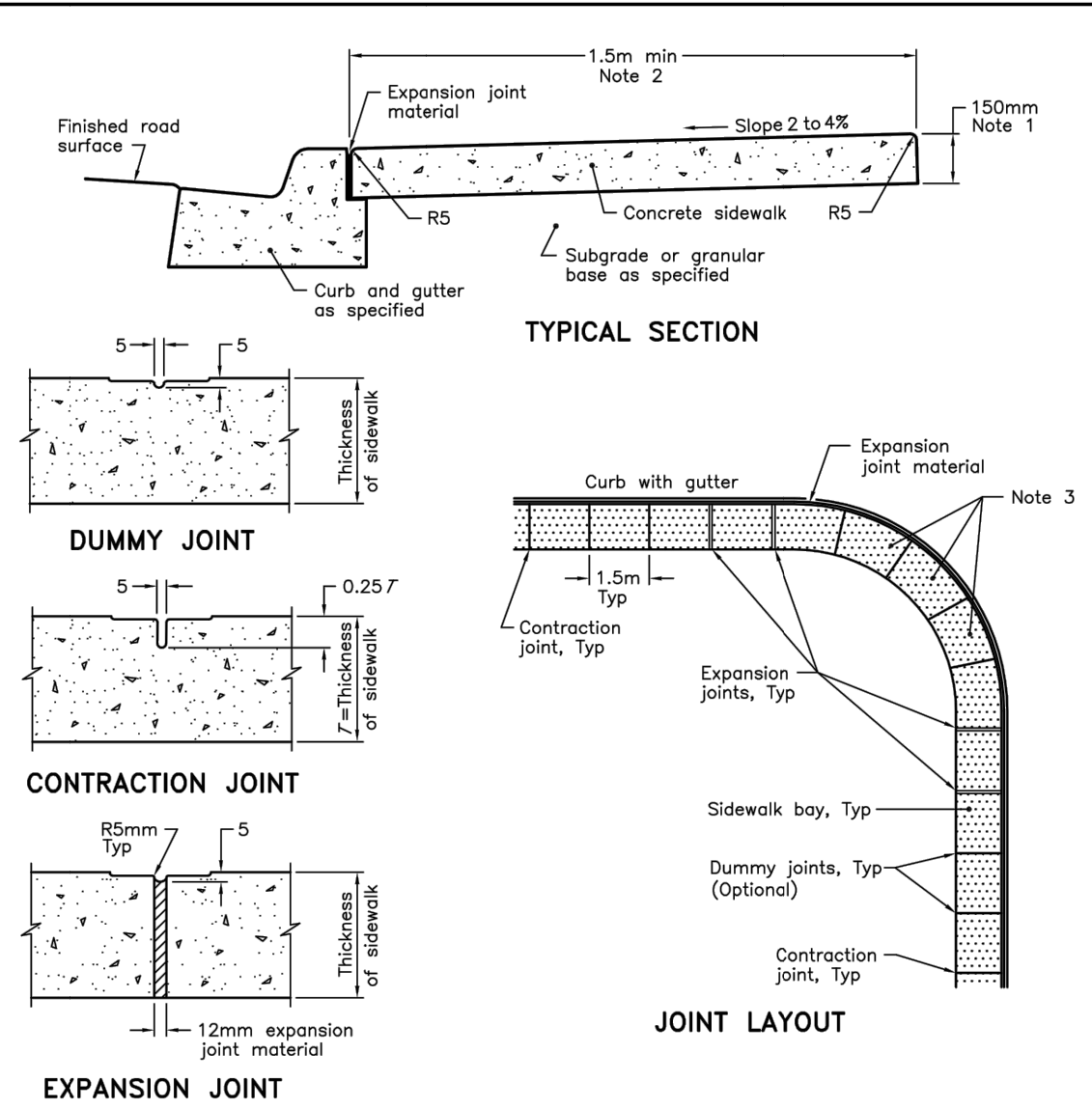
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TITLE
SITE GRADING PLAN
COMMERCIAL DEVELOPMENT
1025 ELGIN STREET WEST
COBOURG, ON.

PROJECT No.
SBM-21-1211

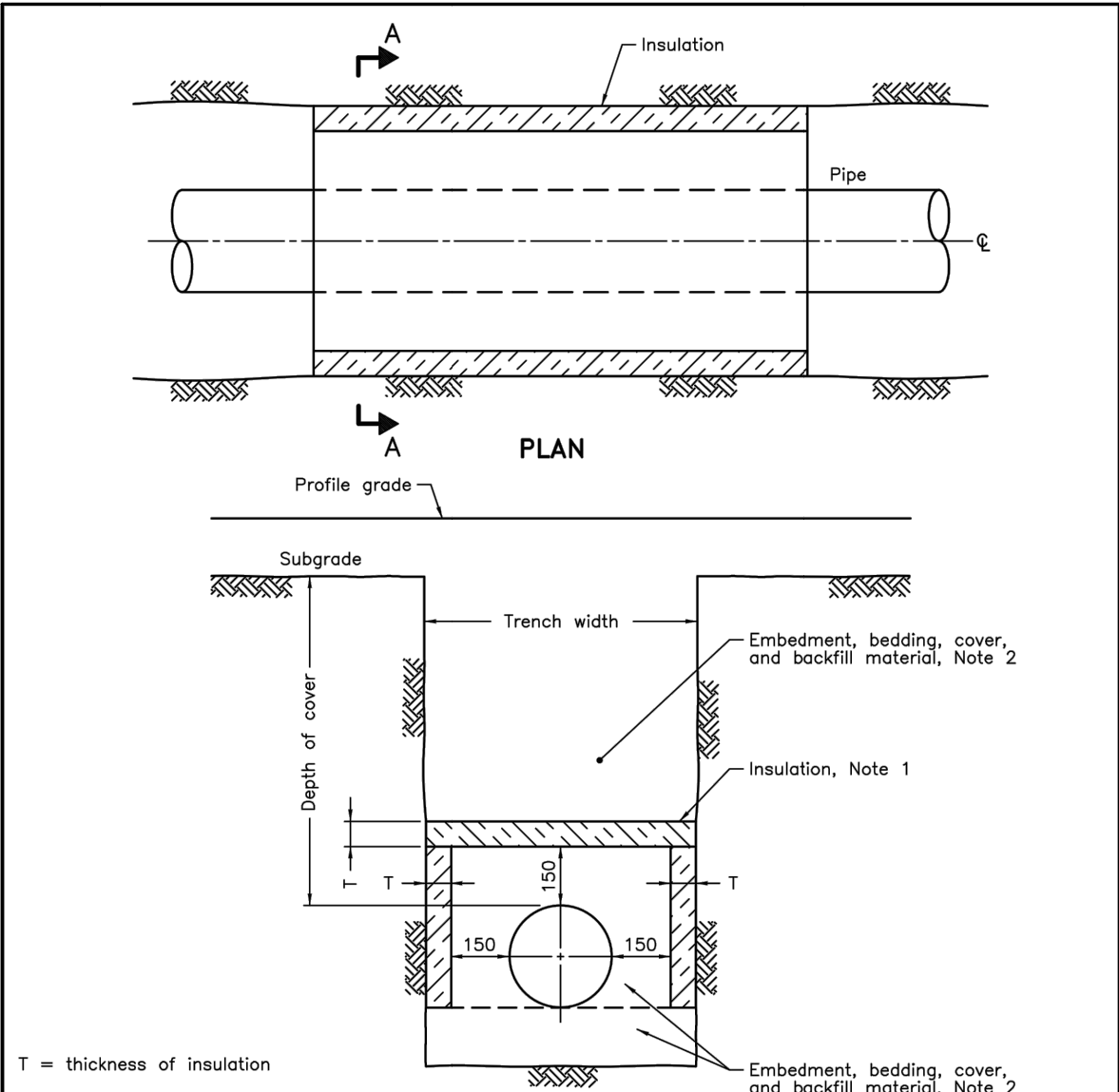
SHEET No.
C4

PLAN FILE No.



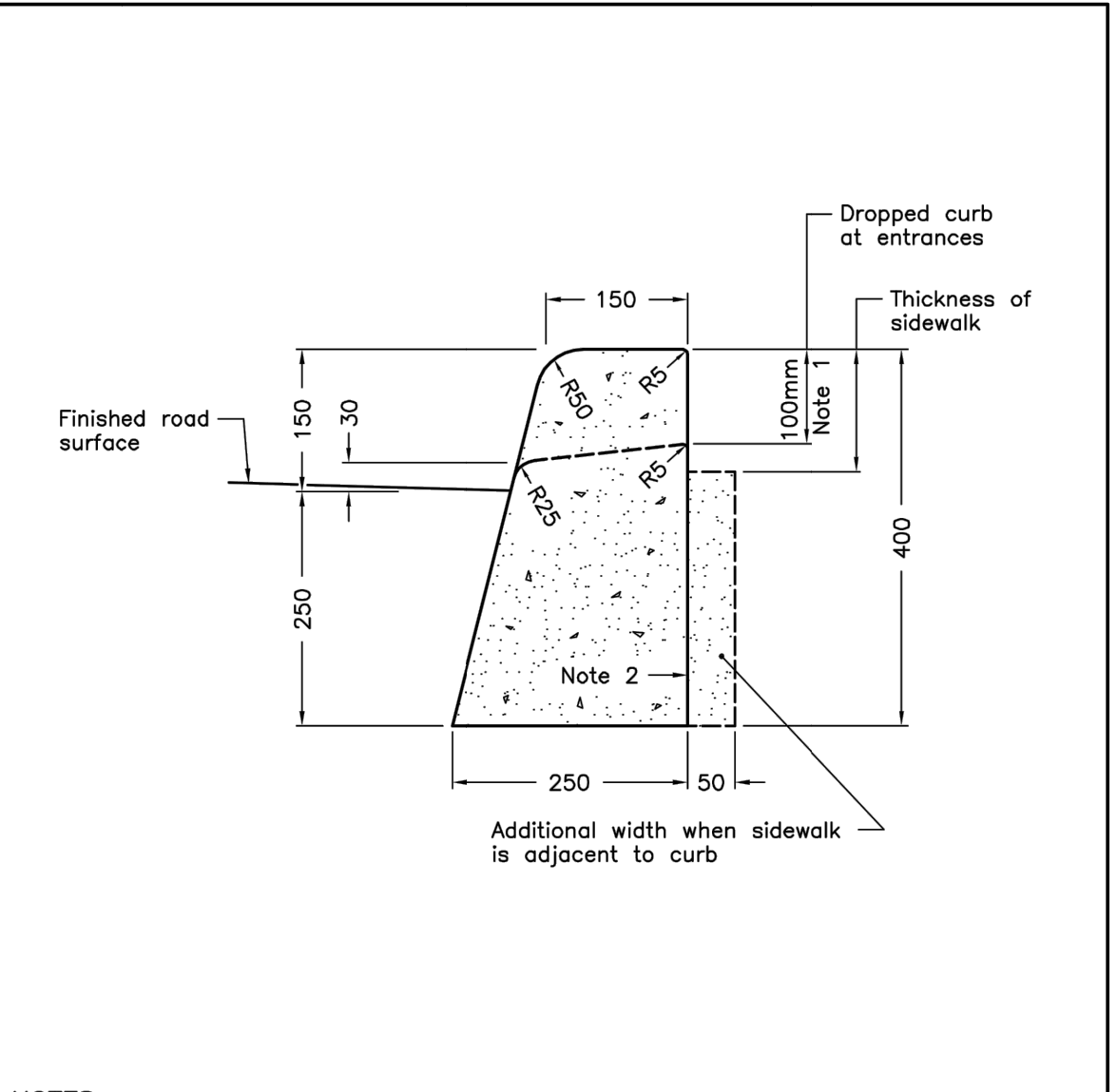
NOTES:
 1 At commercial and industrial driveways, the thickness shall be 200mm.
 2 Sidewalk width shall be wider when specified.
 3 This OPSD shall be read in conjunction with OPSD 310.030, 310.031, 310.033, and 310.039.
 A All dimensions are in millimetres unless otherwise shown.

ONTARIO PROVINCIAL STANDARD DRAWING	Nov 2019	Rev 3	
CONCRETE SIDEWALK ADJACENT TO CURB WITH GUTTER			
			OPSD 310.020



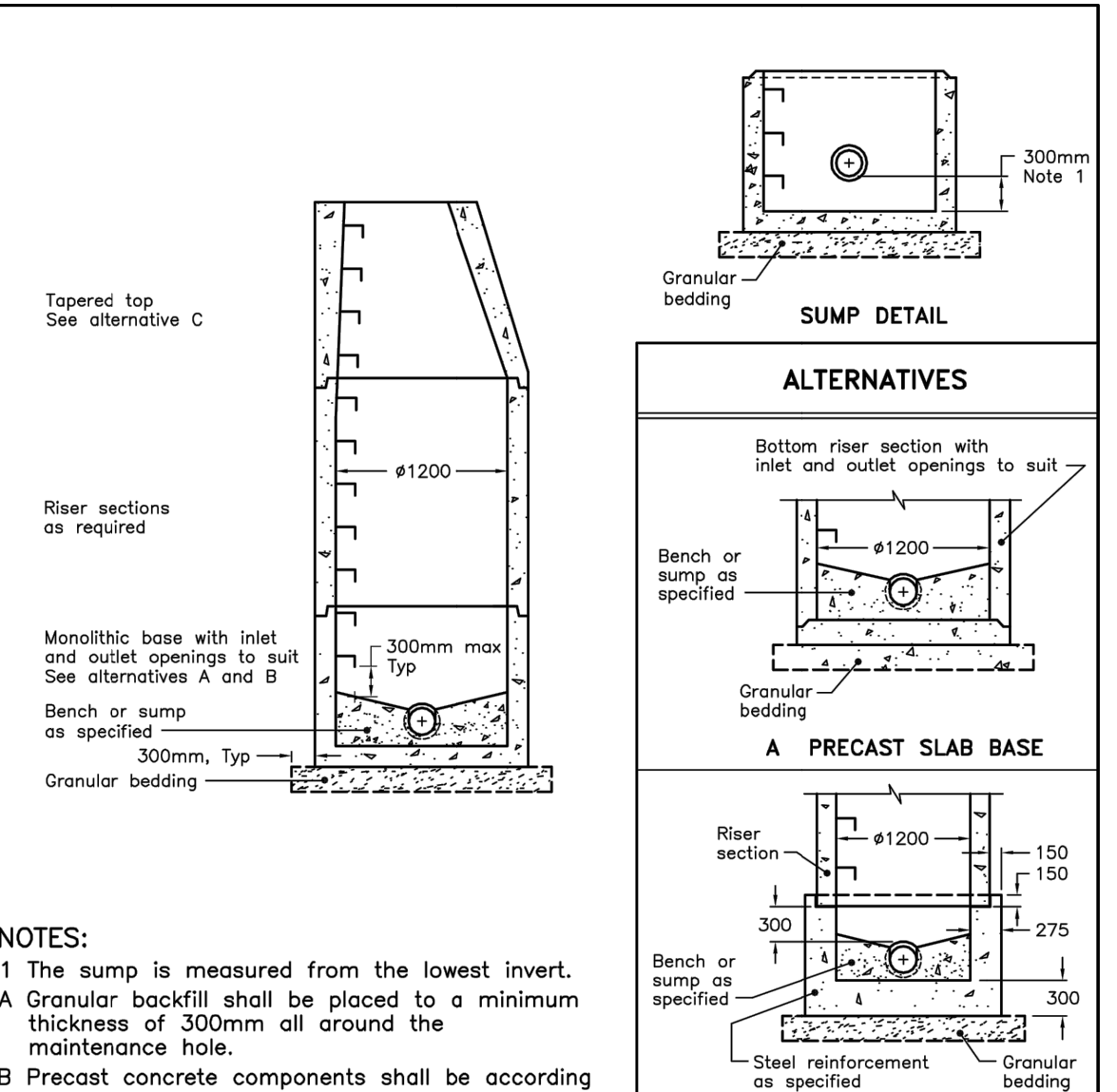
NOTES:
 1 The insulation material shall be extruded polystyrene according to OPSS 1605 with a minimum compressive strength of 275 kPa.
 2 Pipe embedment or bedding, cover, and backfill shall be according to:
 a) Flexible OPSD 802.010, 802.013, 802.020, and 802.023.
 b) Rigid - OPSD 802.030, 802.031, 802.032, 802.033, 802.050, 802.051, 802.052, and 802.053.
 A Minimum insulation thickness shall be 50mm.
 B Joints shall be staggered for multiple insulation sheets.
 C This OPSD is to be read in conjunction with OPSD 3090.100 and 3090.101.
 D All dimensions are in millimetres unless otherwise shown.

ONTARIO PROVINCIAL STANDARD DRAWING	Nov 2020	Rev 1	
INSULATION FOR SEWERS AND WATERMANS IN SHALLOW TRENCHES			
			OPSD 1109.030



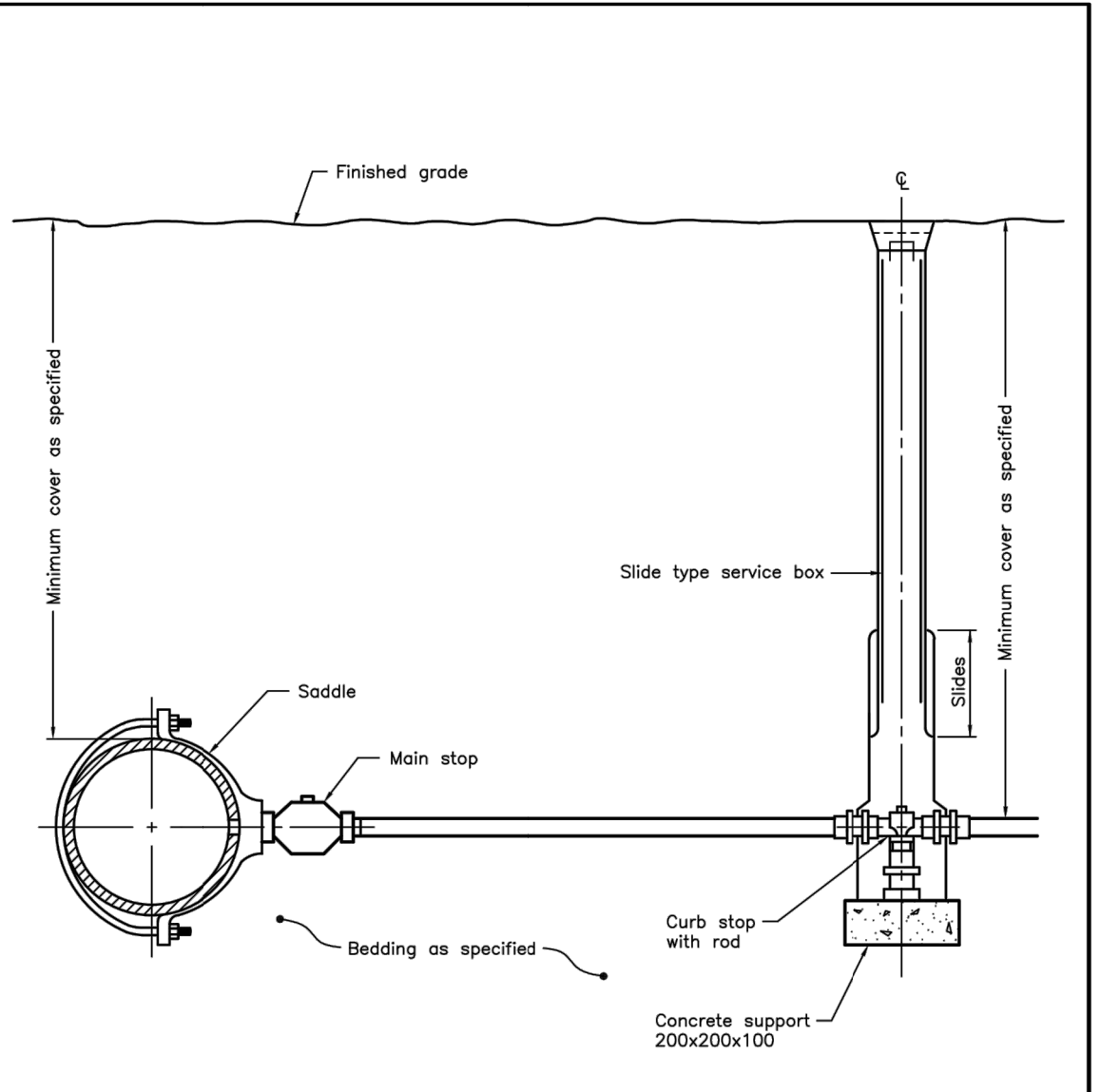
NOTES:
 1 When sidewalk is continuously adjacent, the dropped curb at entrances shall be reduced to 75mm.
 2 For slipforming procedure a 5% batter is acceptable.
 A Treatment at entrances shall be according to OPSD 351.010.
 B Outlet treatment shall be according to the OPSD 610 Series.
 C The transition from one curb type to another shall be a minimum length of 3.0m, except in conjunction with guide rail where it shall be according to the OPSD 500 Series.
 D All dimensions are in millimetres unless otherwise shown.

ONTARIO PROVINCIAL STANDARD DRAWING	Nov 2012	Rev 2	
CONCRETE BARRIER CURB			
			OPSD 600.110



NOTES:
 1 The sump is measured from the lowest invert.
 A Granular backfill shall be placed to a minimum thickness of 300mm all around the maintenance hole.
 B Precast concrete components shall be according to OPSD 701.030, 701.031, or 701.032.
 C Structure exceeding 5.0m in depth shall include safety platform according to OPSD 404.020.
 D Pipe support according to OPSD 708.020.
 E For benching and pipe opening details, see OPSD 701.021.
 F For adjustment unit and frame installation, see OPSD 704.010.
 G All dimensions are nominal.
 H All dimensions are in millimetres unless otherwise shown.

ONTARIO PROVINCIAL STANDARD DRAWING	Nov 2014	Rev 5	
PRECAST CONCRETE MAINTENANCE HOLE 1200mm DIAMETER			
			OPSD 701.010



NOTES:
 A Couplings shall not be permitted unless the service length exceeds 20m between the main stop and curb stop.
 B All water services shall be installed 90° to the longitudinal axis of the watermain.
 C Backfill material within 500mm of service box shall be native or imported, as specified.
 D All dimensions are in millimetres unless otherwise shown.

ONTARIO PROVINCIAL STANDARD DRAWING	Nov 2018	Rev 3	
WATER SERVICE CONNECTION			
32, 38, and 50mm DIAMETER SIZES			OPSD 1104.020

S:\2021\John\SBM-21-1211 - West\1025 Elgin Street West, Cobourg\03 - CIV\03 - Production Drawings\SBM-21-1211 - West\1025 Elgin Street West, Cobourg - Notes\Chibioli.dwg

AS CONSTRUCTED SERVICES	COMPLETION	No.	REVISIONS	D/M/Y	BY	CONSULTANT
	DESIGN	CM	1	FOR REVIEW/APPROVAL	18/05/21	CJ
	DRAWN	CJ	2	ISSUED FOR SPA	28/05/21	CJ
	CHECKED	LS/BH				
	APPROVED	BH				
	DATE			20/05/2021		
	CAD			21-1211		

STRIK BALDINELLI MONIZ
 PLANNING - CIVIL - STRUCTURAL - MECHANICAL - ELECTRICAL
 1599 Adelaide St. N, Unit 301, London, Ontario, N5X 4E8
 Tel: (519) 471-6667 Fax: (519) 471-0034
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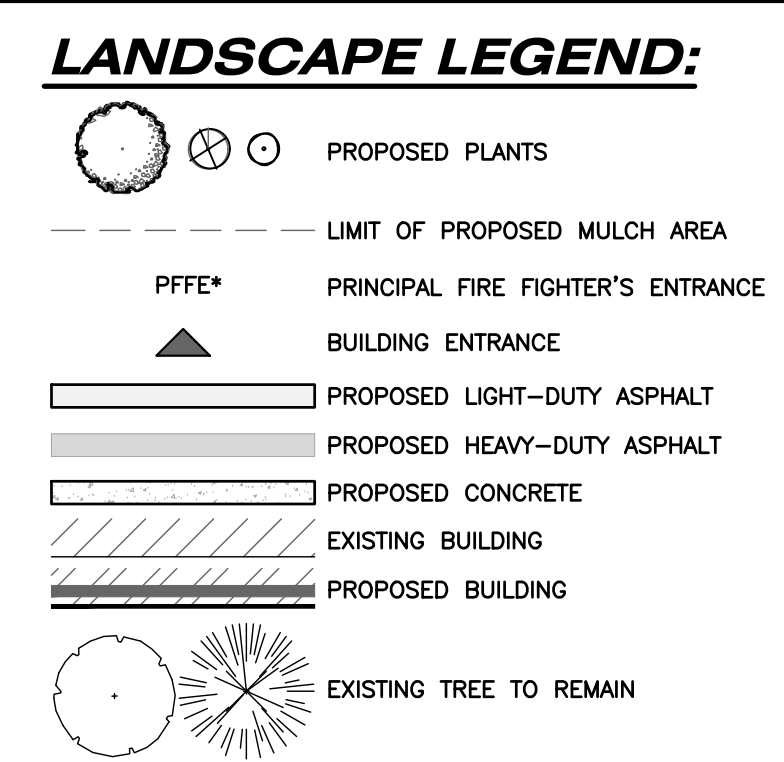
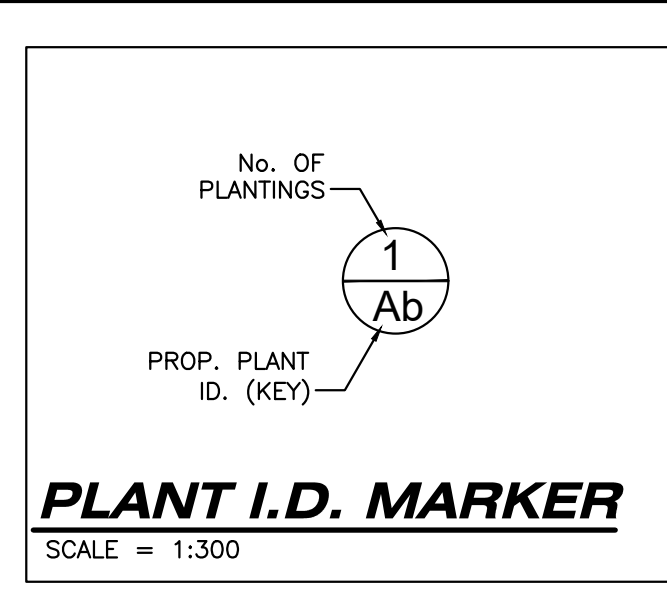
ENGINEER'S STAMP

CLIENT
TRI BATE ASSET MANAGEMENT
 782 RICHMOND STREET
 LONDON, ON N6A 3H5
 P: 519.850.0000
 E: INFO@WESTDELLCORP.COM

SCALE
 N/A

TITLE
STANDARD DETAILS
COMMERCIAL DEVELOPMENT
 1025 ELGIN STREET WEST
 COBURG, ON.

PROJECT No.
SBM-21-1211
 SHEET No.
C5
 PLAN FILE No.
 —



PLANT LIST

KEY	No.	BOTANICAL NAME-- COMMON NAME	SIZE & CONDITION
Ar	5	ACER RUBRUM 'REDPOINTE' - REDPOINTE RED MAPLE	60mm CALIPER; WIRE BASKET
Gt	2	GLEDITSIA TRIACANTHOS VAR. INERMIS 'STREETKEEPER' - STREETKEEPER HONEYLOCUST	60mm CALIPER, WIRE BASKET
Tc	3	TILIA CORDATA 'NORLIN' - NORLIN LITTLELEAF LINDEN	60mm CALIPER, WIRE BASKET
Jv	21	JUNIPERUS VIRGINIANA - EASTERN RED CEDAR	150cm HEIGHT, POTTED
Ca	49	CALAMAGROSTIS X ACUTIFOLIA 'KARL FOERSTER' - KARL FOERSTER REED FEATHER GRASS	2 GALLON POT
Cs	53	CORNUS SERICEA - RED-OSIER DOGWOOD	60cm HEIGHT, POTTED

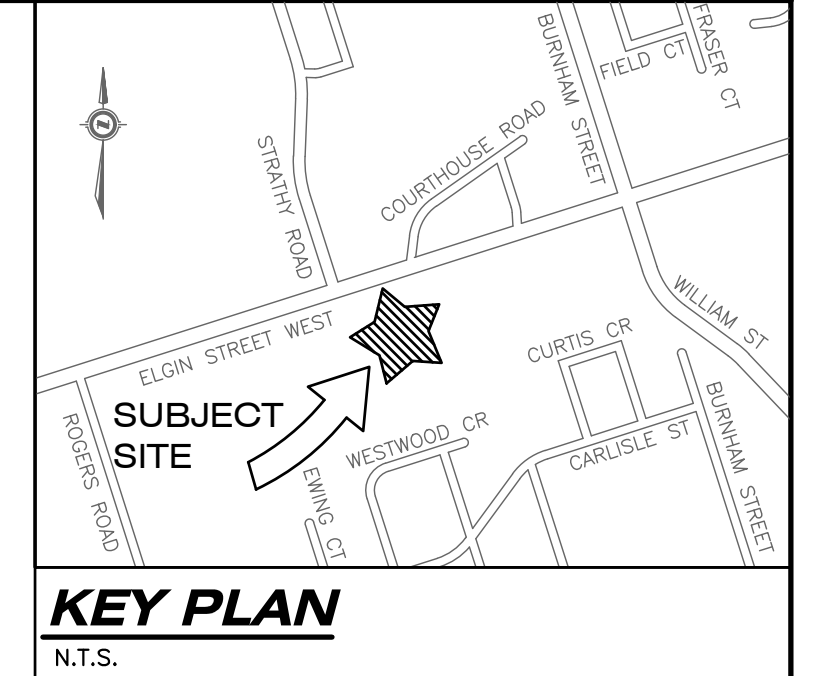
LIST OF DRAWINGS

SHEET L1	LANDSCAPE PLAN, PLANT LIST AND LEGEND
SHEET L2	LANDSCAPE NOTES AND STANDARD DETAILS

SITE BENCHMARK

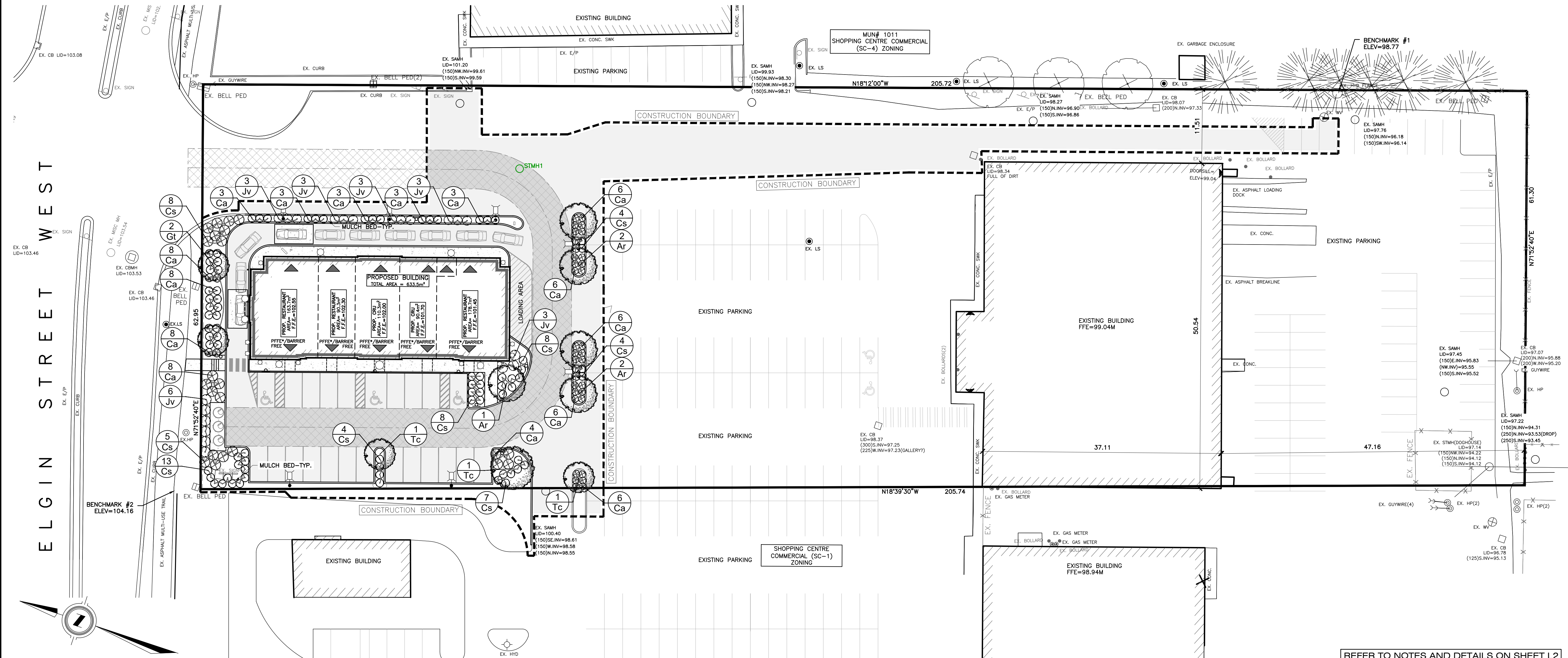
BENCHMARK #1:
MONUMENT TYPE: HYDRANT SPINDLE
LOCATION: TOP OF HYDRANT SPINDLE LOCATED ON THE SOUTHEAST CORNER OF THE SUBJECT SITE.
GEODETIC ELEVATION (CGVD2013): 98.77m

BENCHMARK #2:
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LOCATION: PK NAIL IN ASPHALT AT NORTHWEST CORNER OF SITE ADJACENT TO ELGIN STREET WEST.
GEODETIC ELEVATION (CGVD2013): 104.16m
(CONTRACTOR TO CONFIRM BENCHMARK ELEVATIONS)



LEGAL INFORMATION

PART OF
LOT 21, CONCESSION A
(GEOGRAPHIC TOWNSHIP OF
HAMILTON)
IN THE
TOWN OF COBURG
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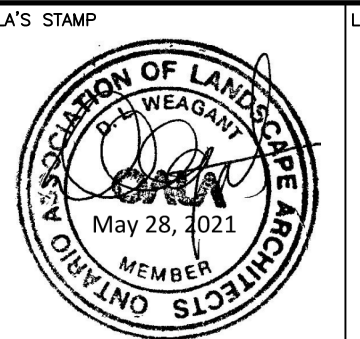


REFER TO NOTES AND DETAILS ON SHEET L2

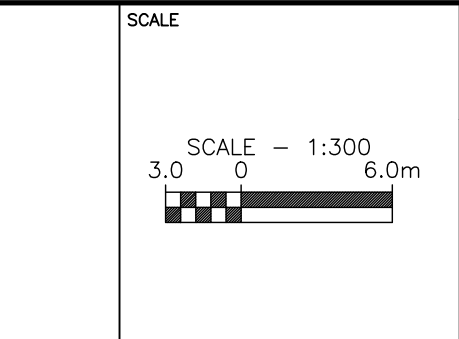
AS CONSTRUCTED SERVICES	COMPLETION
DESIGN DW	1
DRAWN CJ	2
CHECKED LS/BH	
APPROVED BH	
DATE	28/05/2021
CAD	21-1211

No.	REVISIONS	D/M/Y	BY	CONSULTANT
1	FOR REVIEW/APPROVAL	18/05/21	CJ	
2	ISSUED FOR SPA	28/05/21	CJ	

DAN WEAGANT, OALA, CSLA, LANDSCAPE ARCHITECT
703 FORMAN AVENUE
STRATFORD, ON N5A 0G2
PH 519-694-5470
danweagant@rogers.com



CLIENT
TRI BATE ASSET MANAGEMENT
782 RICHMOND STREET
LONDON, ON N6A 3H5
P: 519.850.0000
E: INFO@WESTDELLCORP.COM



TITLE
LANDSCAPE PLAN, PLANT LIST AND LEGEND
COMMERCIAL DEVELOPMENT
1025 ELGIN STREET WEST
COBURG, ON.

PROJECT No.
SBM-21-1211

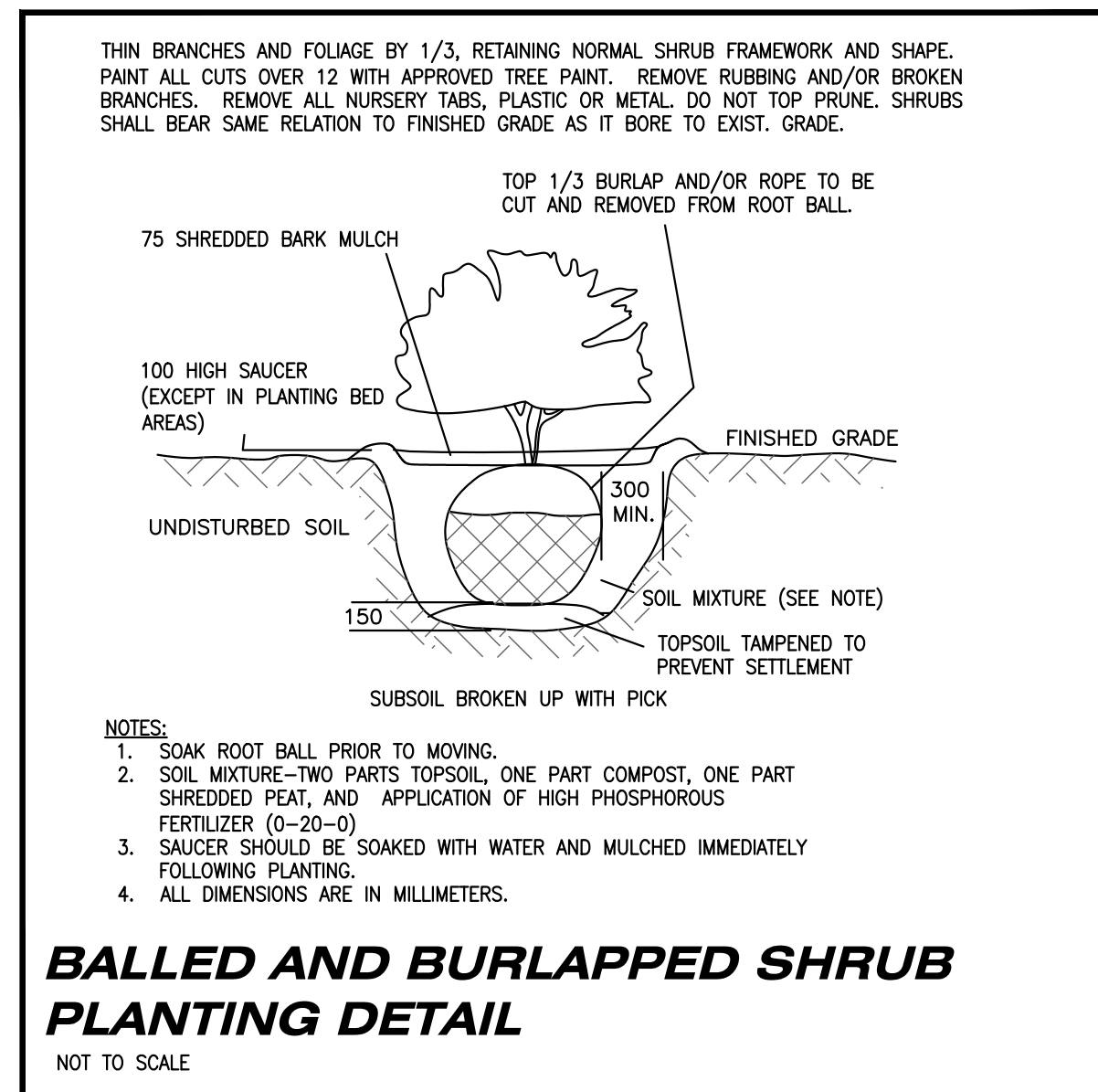
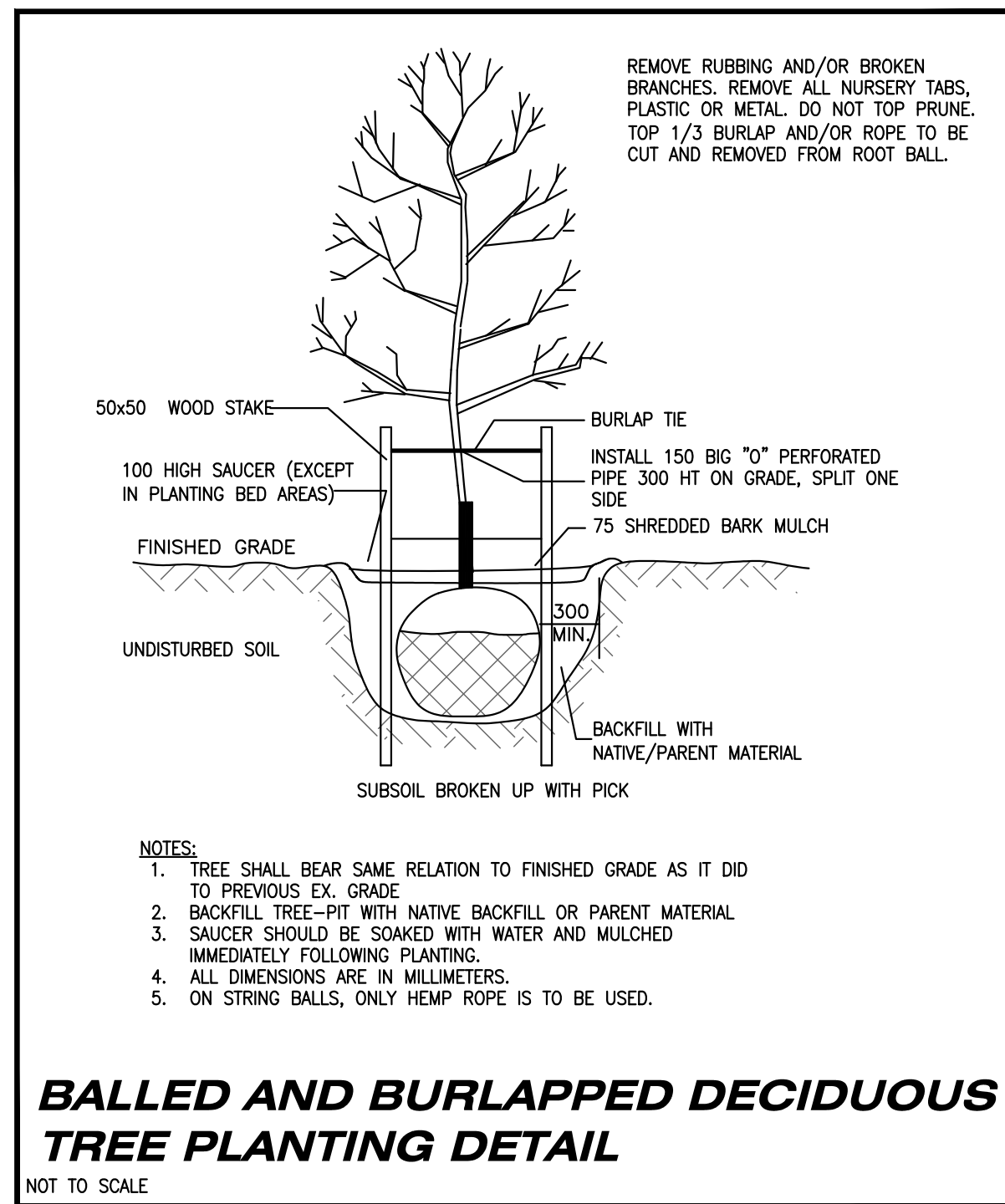
SHEET No.
L1

PLAN FILE No.

S:\2021\John\SBM-21-1211\Weagant\1025 Elgin Street West, Cobourg\03_Dwg\03_Production_Drawing\SBM-21-1211_Weagant\1025 Elgin Street West, Cobourg - Landscape.rvt

LANDSCAPE NOTES

1. SITE LAYOUT IN ACCORDANCE WITH SITE PLAN BY STRIK BALDINELLI MONIZ LTD.
2. LANDSCAPE PLAN SHOULD BE READ IN CONJUNCTION WITH CURRENT SITE SERVICING AND SITE GRADING PLANS.
3. LAYOUT OF ALL PLANT MATERIAL IS TO BE APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. CONTRACTOR IS RESPONSIBLE FOR UTILITY AND SERVICING LOCATES. ANY DAMAGE TO UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR FOR REPAIR, TO THE SATISFACTION OF THE APPLICABLE UTILITY / AGENCY.
5. CONTRACTOR IS REQUIRED TO CONFIRM ANY DISCREPANCIES, WITH RESPECT TO QUANTITIES OR LOCATION OF PLANT MATERIAL OR OTHER ELEMENTS INDICATED ON THE PLAN. DO NOT PROCEED IN UNCERTAINTY. OBTAIN DIRECTION AS REQUIRED FROM LANDSCAPE ARCHITECT.
6. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO SELECT / APPROVE PLANT MATERIALS AT SOURCE, WITHOUT LIMITING THE RIGHT TO REFUSE PLANT MATERIAL AT A FUTURE DATE WHERE THERE ARE CLEAR VIOLATIONS OF SPECIFIED CHARACTERISTICS.
7. CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT UPON COMPLETION OF INSTALLATION FOR THE PURPOSES OF PREPARING A CERTIFICATION OF COMPLETION.
8. CONTRACTOR IS RESPONSIBLE FOR ALL INSTALLATIONS UNTIL ACCEPTED BY THE OWNER.
9. SUBSTITUTION OF ANY PLANT MATERIAL IS SUBJECT TO WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
10. TREE PITS SHALL BE EXCAVATED TO A MINIMUM OF 750mm WIDER THAN THE ROOT BALL OF THE TREE BEING INSTALLED. TREES SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL IS 100 - 150mm ABOVE THE ELEVATION OF THE TOP OF THE SURROUNDING CURB.
11. SHRUBS AND ORNAMENTAL GRASSES SHALL BE PLANTED IN A MINIMUM 450mm DEPTH OF TOPSOIL / PLANTING MEDIUM.
12. REMOVE WIRE BASKETS PRIOR TO INSTALLATION AND REMOVE FROM SITE. BURLAP IS TO BE CUT AWAY FROM THE STEM AND ROOT BALL TO A DEPTH OF 300mm FROM THE FINISHED PLANTING SURFACE.
13. REMOVE GUY WIRES, STAKES AND OTHER STABILIZING MATERIALS FROM TREES UPON ACCEPTANCE BY THE OWNER OR UPON COMPLETION OF THE WARRANTY PERIOD, WHICHEVER IS LATER.
14. ENSURE COMPLETED PLANTING SOIL SURFACE IS MOUNDED TO PROVIDE POSITIVE DRAINAGE TO ADJACENT TOP OF CURB ENCLOSURE.
15. ALL TOPSOIL FOR PLANTING SHALL BE COMPRISED OF CLAY / SANDY LOAM WITH A 4 TO 12% ORGANIC MATTER, CAPABLE OF SUSTAINING APPROPRIATE GROWTH OF THE PLANTS. THE SOIL SHALL BE FREE OF CONTAMINANTS, ROOTS AND STONES LARGER THAN 25mm IN DIAMETER. REQUIRED PH FOR THIS INSTALLATION IS BETWEEN 6.0 AND 7.0. THE LANDSCAPE ARCHITECT / OWNER RESERVES THE RIGHT TO INSPECT AND ACCEPT / REJECT TOPSOIL PRIOR TO APPLICATION.
16. MULCH SHALL BE PLACED AT A MINIMUM DEPTH OF 75mm THROUGHOUT THE PLANTING AREA. MULCH IS TO BE COMPOSED OF AGED CEDAR MULCH OR AN ALLOWABLE SUBSTITUTION UPON ACCEPTANCE BY THE LANDSCAPE ARCHITECT.



S:\2021\John\SBM-21-1211\Westdell\1025 Elgin Street West, Cobourg\03 Draw\03 Production Drawings\SBM-21-1211 Westdell\1025 Elgin Street West, Cobourg - Landscaping.rvt

AS CONSTRUCTED SERVICES	COMPLETION	No.	REVISIONS	D/M/Y	BY	CONSULTANT	LA'S STAMP	LA'S STAMP	CLIENT	SCALE	TITLE	PROJECT No.
	DESIGN DW	1	FOR REVIEW/APPROVAL	18/05/21	CJ	DAN WEAGANT, OALA, CSLA, LANDSCAPE ARCHITECT 703 FORMAN AVENUE STRATFORD, ON N5A 0G2 PH 519-694-5470 danweagant@rogers.com			TRI BATE ASSET MANAGEMENT 782 RICHMOND STREET LONDON, ON N6A 3H5 P: 519.850.0000 E: INFO@WESTDELLCORP.COM	N/A	LANDSCAPE NOTES AND STANDARD DETAILS	SBM-21-1211
	DRAWN CJ	2	ISSUED FOR SPA	28/05/21	CJ						COMMERCIAL DEVELOPMENT	SHEET No. L2
	CHECKED LS/BH											
	APPROVED BH											
	DATE 28/05/2021											
	CAD 21-1211										1025 ELGIN STREET WEST COBOURG, ON.	PLAN FILE No. —