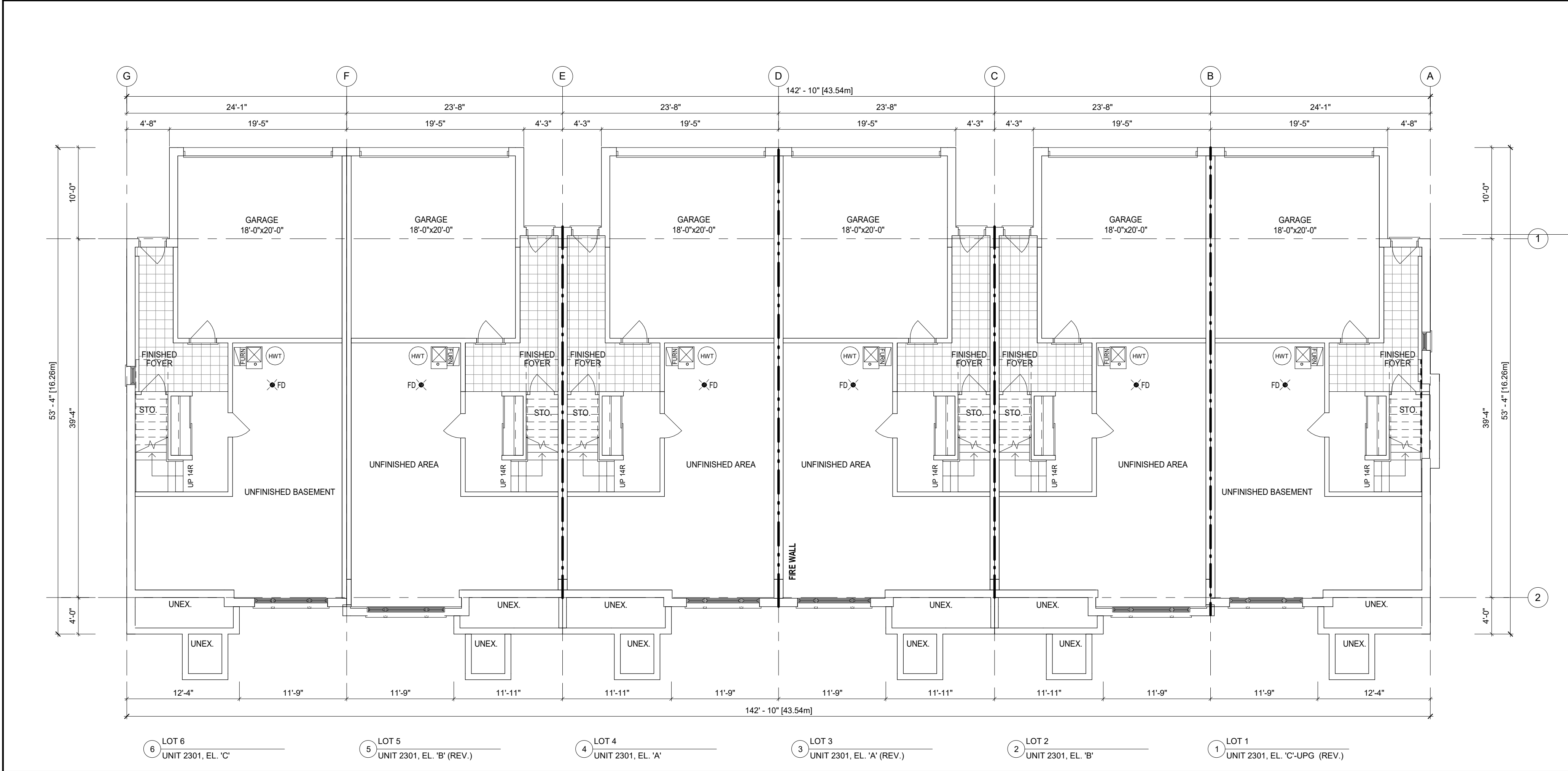


2 MAIN FLOOR PLAN  
1/8" = 1'-0"



1 GROUND FLOOR PLAN  
1/8" = 1'-0"

APPLICATION NUMBER:

APPLICATION NUMBER:

NOTES:  
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DRAWINGS ARE NOT TO BE SCALED.

LEGEND

--- FIRE SEPARATION: 45 MIN. FRR  
- - - FIRE SEPARATION: 1.0 HR FRR  
--- FIRE SEPARATION: 2.0 HR FRR

GROSS FLOOR AREA 1430.34 sq.m. (15396 sq.ft.)

LOT 1 (2301, EL. 'C'-UPG)	240.25 sq.m. (2586 sq.ft.)
LOT 2 (2301, EL. 'B')	240.25 sq.m. (2586 sq.ft.)
LOT 3 (2301, EL. 'A')	235.79 sq.m. (2538 sq.ft.)
LOT 4 (2301, EL. 'A')	235.79 sq.m. (2538 sq.ft.)
LOT 5 (2301, EL. 'B')	240.25 sq.m. (2586 sq.ft.)
LOT 6 (2301, EL. 'C')	238.02 sq.m. (2562 sq.ft.)
-	0.00 sq.m. (0 sq.ft.)
-	0.00 sq.m. (0 sq.ft.)

BUILDING AREA 683.77 sq.m.(7360 sq.ft.)

A FIREWALL IS REQUIRED IF THE BUILDING AREA IS GREATER THAN 800 m2 (8458 sq ft) AS PER BUILDING CODE PART 9 LIMITATIONS SECTION 1.1.2.4.(1)  
DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2. IS THE EXTENT OF THE GREATEST HORIZONTAL BUILDING EXTERIOR WALLS ABOVE GRADE TO IF REQ'D THE CENTER OF THE FIREWALL (DEMISING LINE)

BUILDING AREA CALCULATION FOR FIREWALLS AS PER O.B.C. PART 1 SECTION 1.1.2.4.(1), PART 3.1. & 9.10.

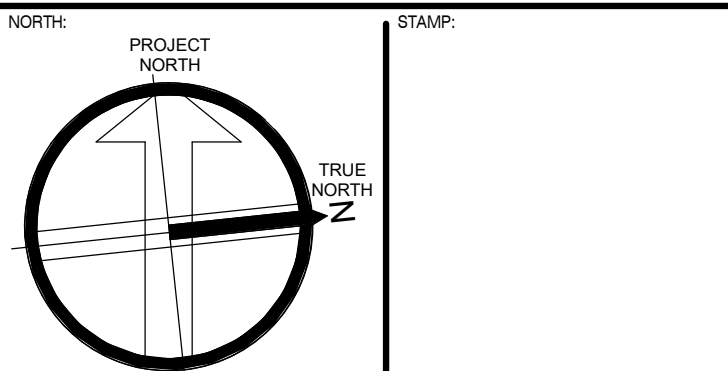
BUILDING AREA SEPERATED BY FIREWALL

N/A	341.88 sq.m.(3680 sq.ft.)
N/A	341.88 sq.m.(3680 sq.ft.)

REVISIONS		
1	ISSUED FOR SPA SUBMISSION	2021.09.13 SL

SUBMITTALS		
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CLIENT: MARSHALL HOMES



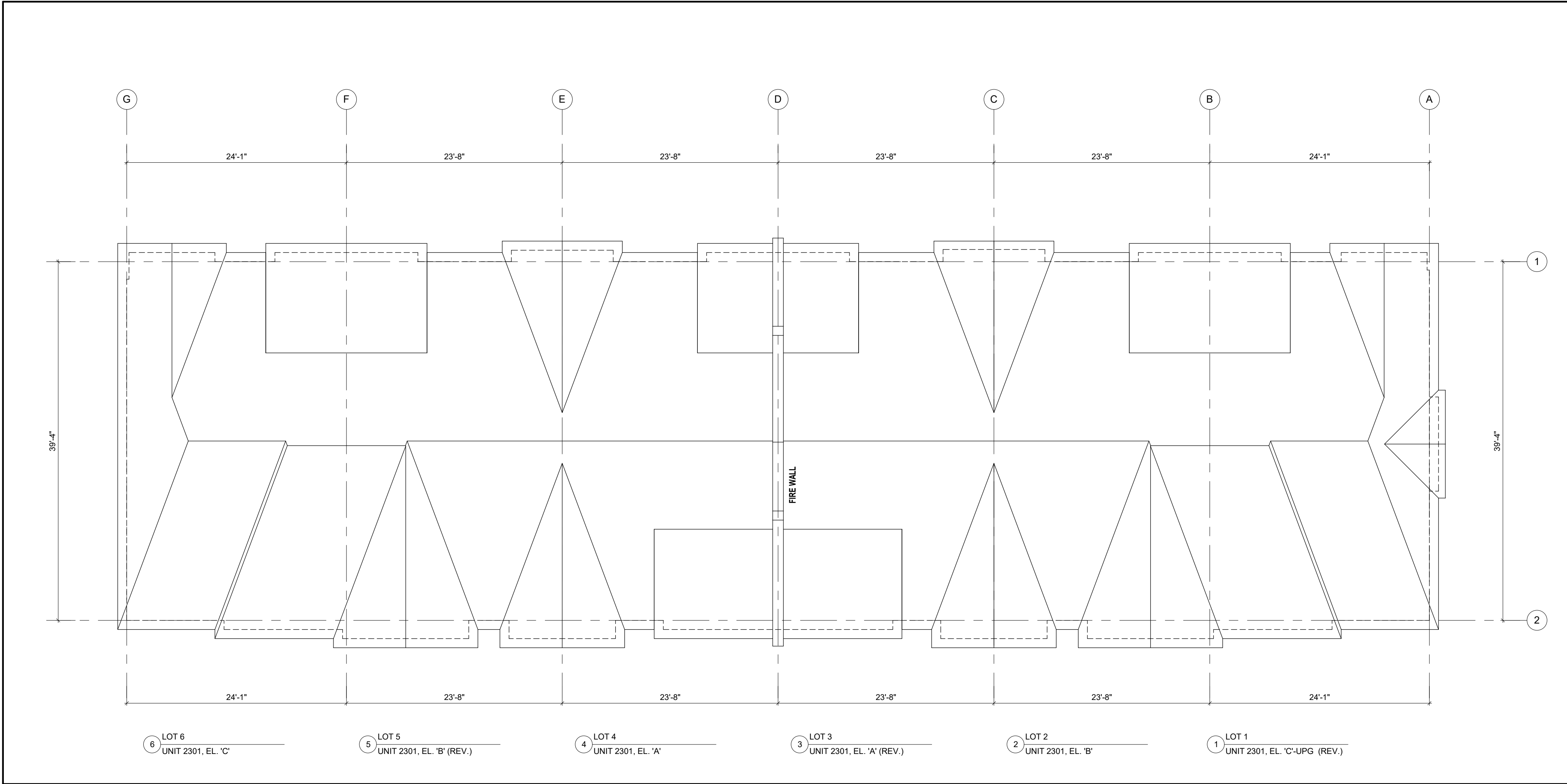
4 ARCHITECTURE INC.  
8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7  
T: (905) 470 7212 / F: (905) 737 7326 email: mail@4architecture.ca

MARSHALL HOMES - 220082  
COBOURG, ON.

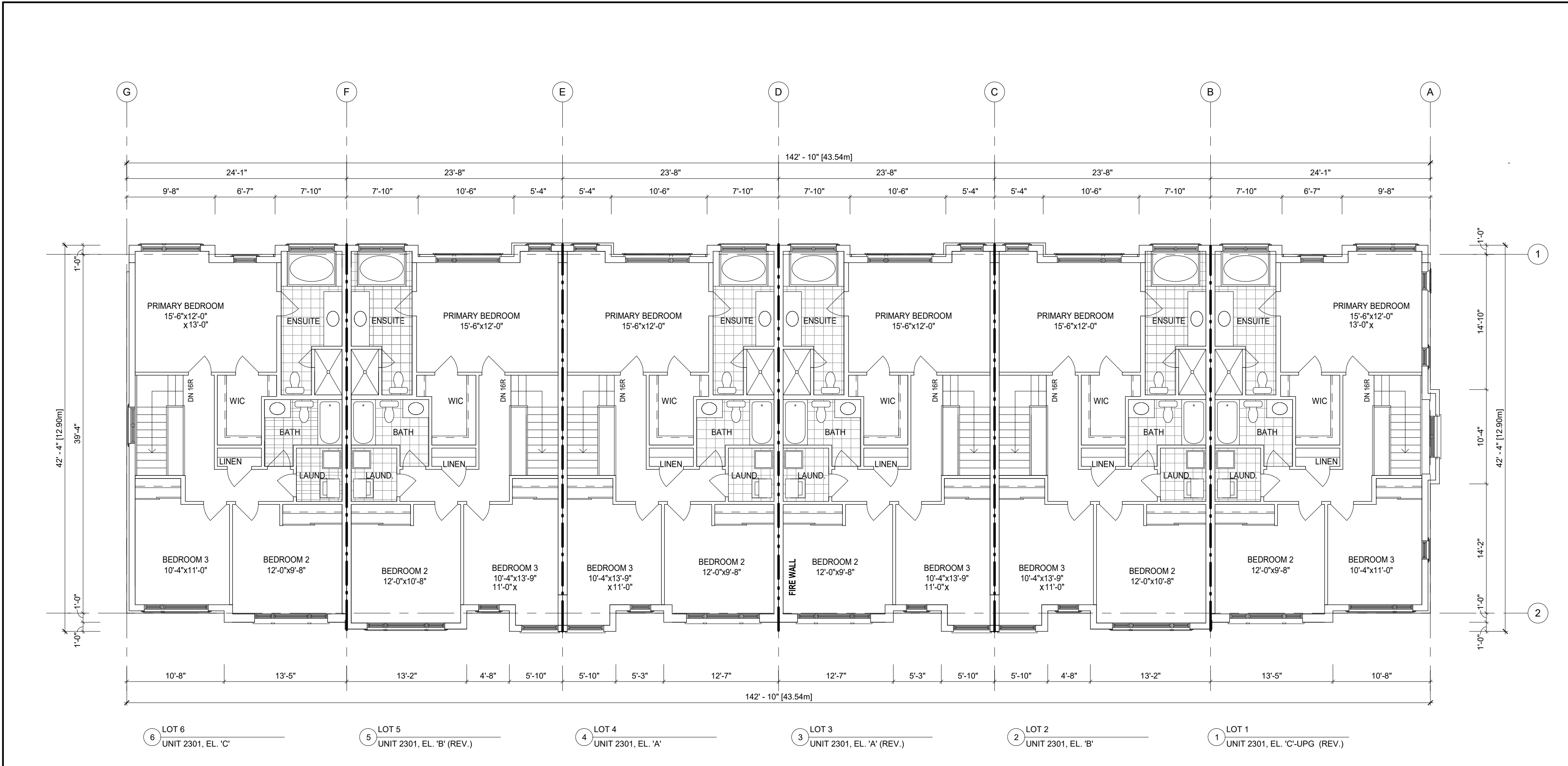
FLOOR PLANS  
- BUILDING 1 (TYPE 'A')

2021.09.13  
As indicated  
HM  
SL

B1-1



2 ROOF PLAN  
1/8" = 1'-0"



1 SECOND FLOOR PLAN  
1/8" = 1'-0"

APPLICATION NUMBER:

APPLICATION NUMBER:

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LEGEND

- FIRE SEPARATION: 45 MIN. FRR
- . - FIRE SEPARATION: 1.0 HR FRR
- - - FIRE SEPARATION: 2.0 HR FRR

GROSS FLOOR AREA 1430.34 sq.m. (15396 sq.ft.)

LOT 1 (2301, EL. 'C'-UPG)	240.25 sq.m. (2586 sq.ft.)
LOT 2 (2301, EL. 'B')	240.25 sq.m. (2586 sq.ft.)
LOT 3 (2301, EL. 'A')	235.79 sq.m. (2538 sq.ft.)
LOT 4 (2301, EL. 'A')	235.79 sq.m. (2538 sq.ft.)
LOT 5 (2301, EL. 'B')	240.25 sq.m. (2586 sq.ft.)
LOT 6 (2301, EL. 'C')	238.02 sq.m. (2562 sq.ft.)
-	0.00 sq.m. (0 sq.ft.)
-	0.00 sq.m. (0 sq.ft.)

BUILDING AREA 683.77 sq.m.(7360 sq.ft.)

A FIREWALL IS REQUIRED IF THE BUILDING AREA IS GREATER THAN 800 m2 (8458 sq ft) AS PER BUILDING CODE PART 9 LIMITATIONS SECTION 1.1.2.4 (1)  
DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2. IS THE EXTENT OF THE GREATEST HORIZONTAL BUILDING EXTERIOR WALLS ABOVE GRADE TO IF REQ'D THE CENTER OF THE FIREWALL (DEMISING LINE)

BUILDING AREA CALCULATION FOR FIREWALLS AS PER O.B.C. PART 1 SECTION 1.1.2.4.(1), PART 3.1. & 9.10.

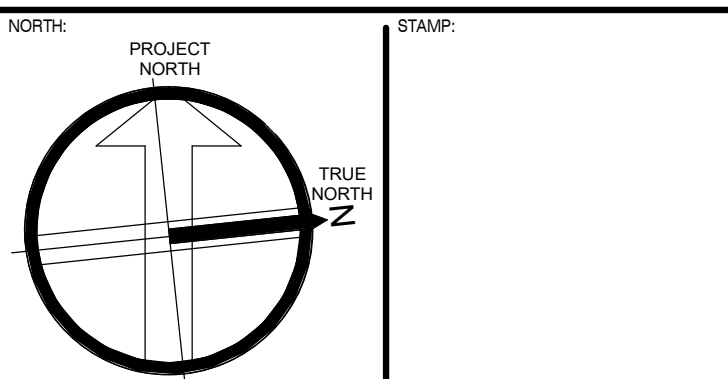
BUILDING AREA SEPERATED BY FIREWALL

N/A	341.88 sq.m.(3680 sq.ft.)
N/A	341.88 sq.m.(3680 sq.ft.)

REVISIONS		
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SUBMITTALS		
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1.	ISSUED FOR SPA SUBMISSION	2021.09.13 SL
No.	Description	YYYY.MM.DD By

CLIENT: MARSHALL HOMES



4 ARCHITECTURE INC  
8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7  
T: (905) 470 7212 / F: (905) 737 7326 email: mail@4architecture.ca

MARSHALL HOMES - 220082  
COBOURG, ON.

FLOOR PLAN & ROOF PLAN  
- BUILDING 1 (TYPE 'A')

2021.09.13  
As indicated  
220082DS\_BLDG 1\_TYPE A.rvt

B1-2



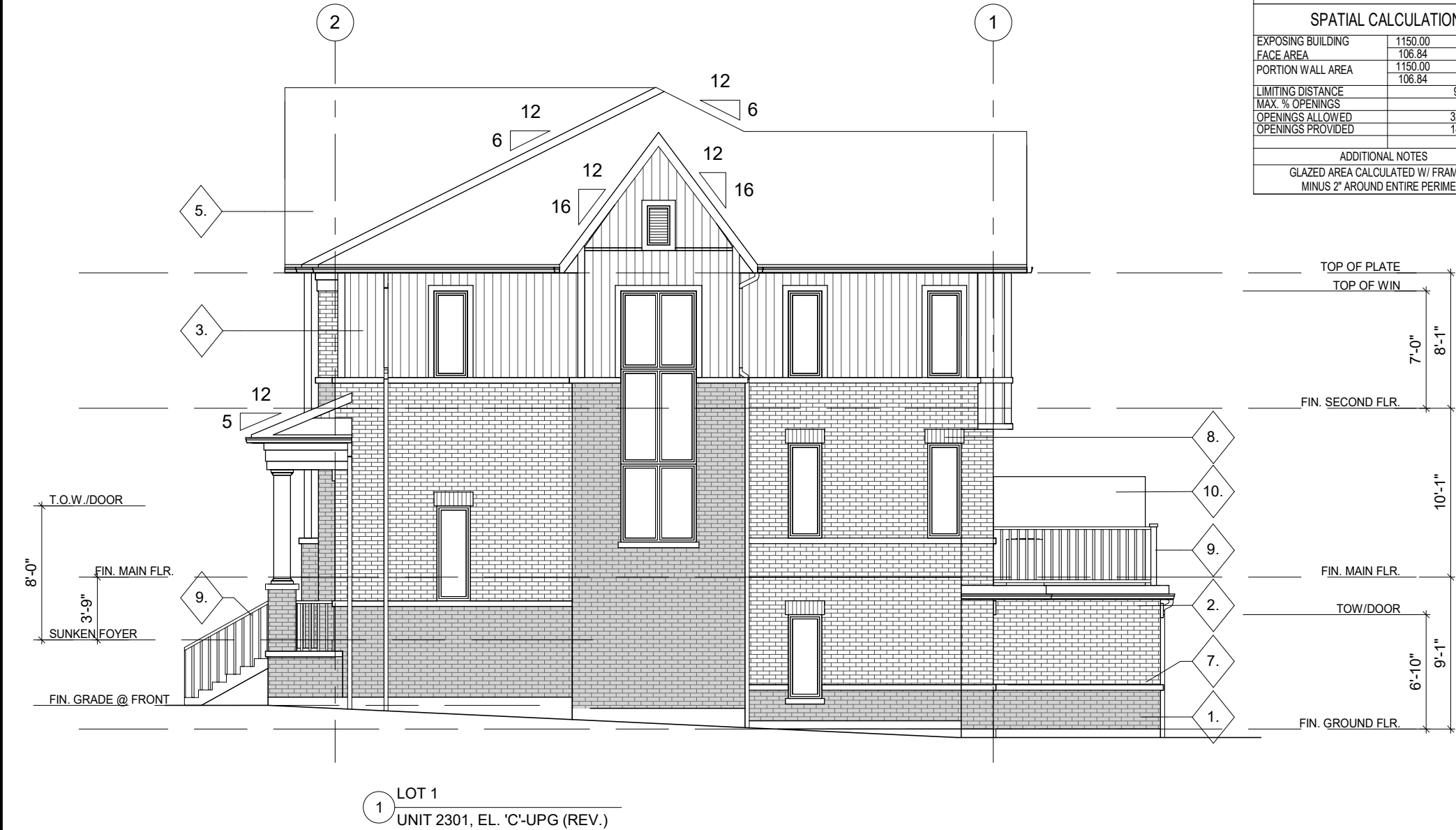
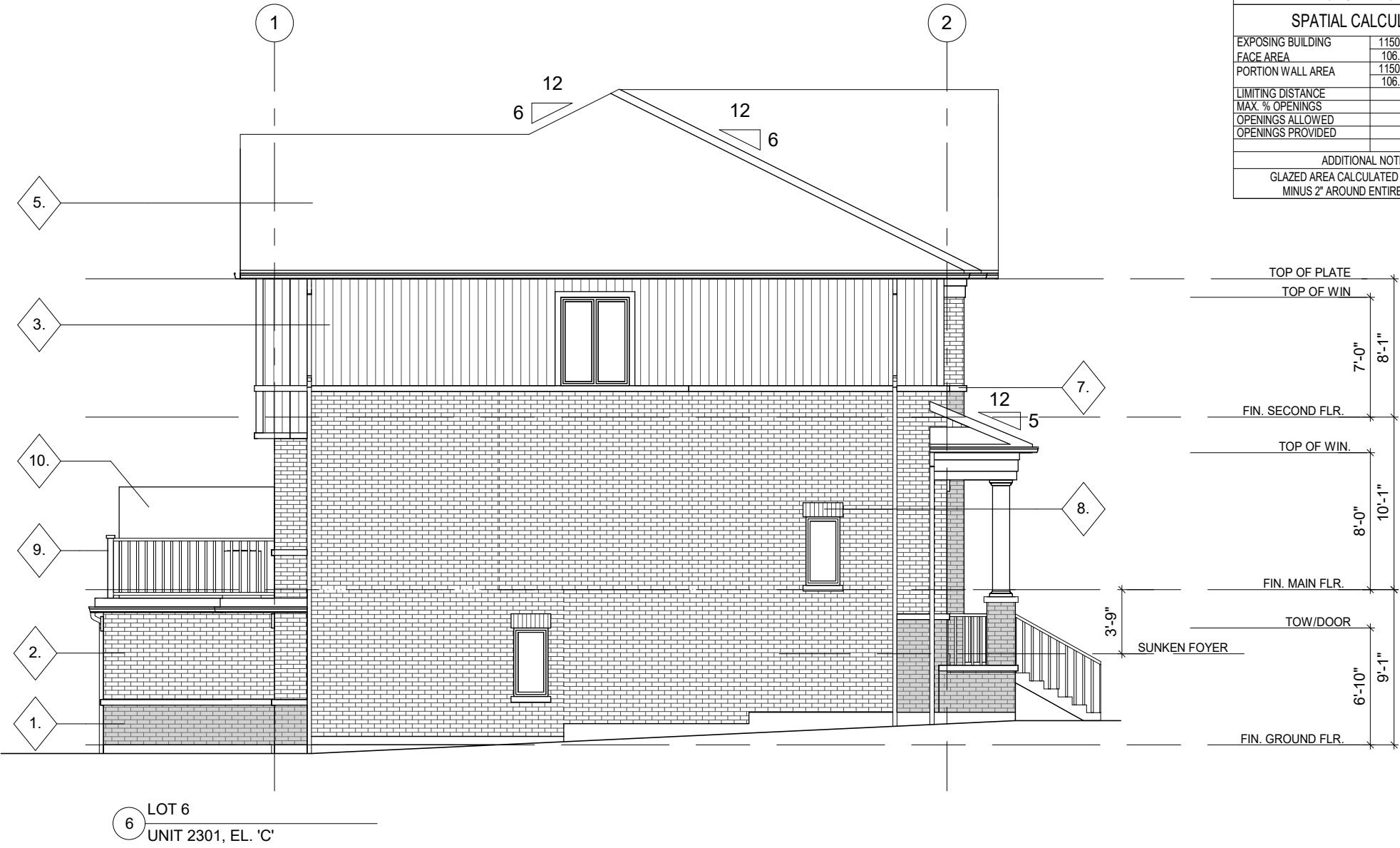
EXTERIOR COLOUR SELECTION	MANUFACTURER	1	2	3
Roof	BP Mystique	5/8" Tongue	5/8" Tongue	5/8" Tongue
Roof	BP Mystique	2" Tone Black	2" Tone Black	2" Tone Black
Soffit, Eavestrougher, RVL and Frieze Board	Gianola Aluminum	State	Iron Ore	State
Brick 1 (Base Brick)	Meridian Brick	Portland	Vanier	Vanier
Brick 2 (Upper Brick)	Meridian Brick	Kelowna	Portland	Kelowna
Vinyl Siding (including corner trim & caps)	Mitan	Stratus	White	Stratus
Non-combustible Siding Where Required	James Hardie	Colour to match Vinyl Siding		
Front Door & Garage Door	Sherwin Williams	Perla Noir SW 6154	Perla Noir SW 6154	Perla Noir SW 6154
Prefinished Exterior Trim, Panels, Exterior Posts & Door Frame	Sherwin Williams	Popular Gray SW 6071	Popular Gray SW 6071	Popular Gray SW 6071
Windows	Newmar	Black	Black	Black
Railings	Airport Railing	Black	Black	Black

OPENING SUMMARY	
PER O.B.C. TABLE 9.10.15.4	
SPATIAL CALCULATION	
EXPOSING BUILDING	1150.00 S.F.
FACE AREA	106.94 S.M.
PORTION WALL AREA	1150.00 S.F.
FACE AREA	106.94 S.M.
LIMITING DISTANCE	2.95 m
MAX. V. OPENINGS	2.95 m
OPENINGS ALLOWED	104 SF
OPENINGS PROVIDED	104 SF

ADDITIONAL NOTES	
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER	

OPENING SUMMARY	
PER O.B.C. TABLE 9.10.15.4	
SPATIAL CALCULATION	
EXPOSING BUILDING	1150.00 S.F.
FACE AREA	106.94 S.M.
PORTION WALL AREA	1150.00 S.F.
FACE AREA	106.94 S.M.
LIMITING DISTANCE	2.95 m
MAX. V. OPENINGS	2.95 m
OPENINGS ALLOWED	104 SF
OPENINGS PROVIDED	104 SF

ADDITIONAL NOTES	
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER	



4 LEFT SIDE ELEVATION  
1/8" = 1'-0"

3 RIGHT SIDE ELEVATION  
1/8" = 1'-0"



2 FRONT ELEVATION  
1/8" = 1'-0"



1 REAR ELEVATION  
1/8" = 1'-0"

APPLICATION NUMBER:

APPLICATION NUMBER:

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MATERIAL LEGEND

- 1 BRICK VENEER 1
- 2 BRICK VENEER 2
- 3 VERTICAL SIDING
- 4 HORIZONTAL SIDING
- 5 ASPHALT SHINGLES
- 6 ALUMINUM FRIEZE BOARD
- 7 PRECAST CONC. SILL / BANDING
- 8 BRICK SOLDIER COURSE
- 9 ALUMINIUM RAILING
- 10 PRIVACY SCREEN

REVISIONS	

SUBMITTALS	

1. ISSUED FOR SPA SUBMISSION	2021.09.13	SL
No. Description	YYYY.MM.DD	By

CLIENT: MARSHALL HOMES

NORTH: STAMP:

4 ARCHITECTURE INC.  
8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7  
T: (905) 470 7212 / F: (905) 737 7326 email: mail@4architecture.ca

MARSHALL HOMES - 220082  
COBourg, ON.

ELEVATIONS  
- BUILDING 1 (TYPE 'A')

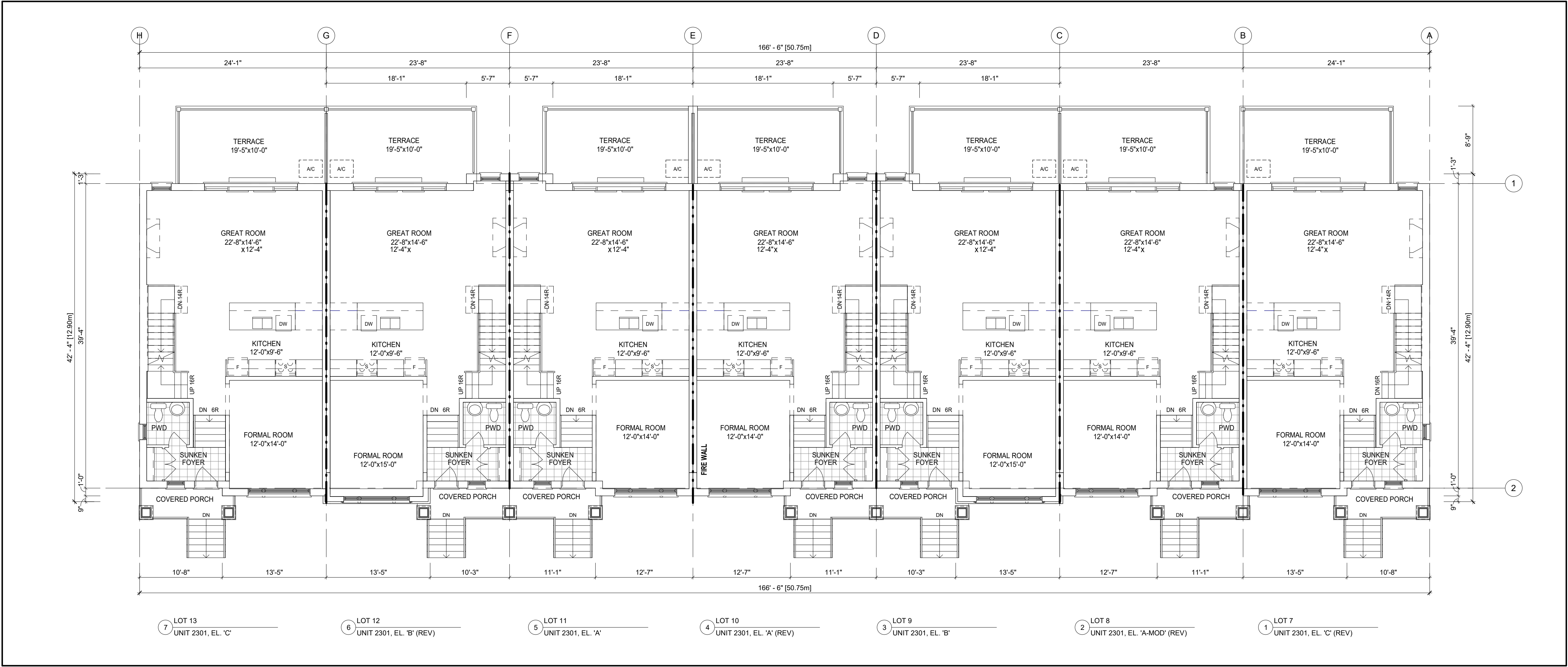
2021.09.13

Scale: 1/8" = 1'-0" Drawn by: HM Checked by: SL

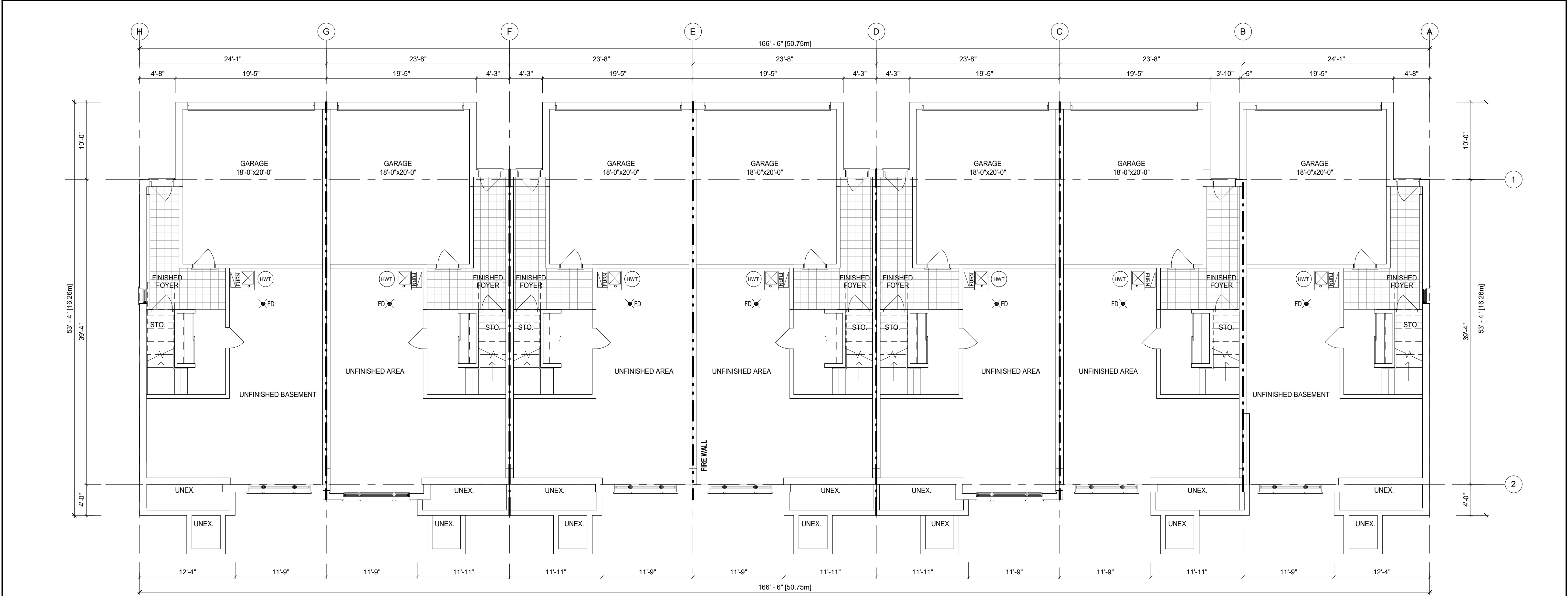
File Name: 220082DS\_BLDG 1\_TYPE A.rvt

B1-3





2 MAIN FLOOR PLAN  
1/8" = 1'-0"



1 GROUND FLOOR PLAN  
1/8" = 1'-0"

APPLICATION NUMBER:

APPLICATION NUMBER:

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LEGEND	
---	FIRE SEPARATION: 45 MIN. FRR
-.-.-	FIRE SEPARATION: 1.0 HR FRR
---	FIRE SEPARATION: 2.0 HR FRR

GROSS FLOOR AREA		1663.89 sq.m. (17910 sq.ft.)
LOT 7 (2301, EL.'C')	238.02 sq.m. (2562 sq.ft.)	
LOT 8 (2301, EL.'A')	235.79 sq.m. (2538 sq.ft.)	
LOT 9 (2301, EL.'B')	240.25 sq.m. (2586 sq.ft.)	
LOT 10 (2301, EL.'A')	235.79 sq.m. (2538 sq.ft.)	
LOT 11 (2301, EL.'A')	235.79 sq.m. (2538 sq.ft.)	
LOT 12 (2301, EL.'B')	240.25 sq.m. (2586 sq.ft.)	
LOT 13 (2301, EL.'C')	238.02 sq.m. (2562 sq.ft.)	
	0.00 sq.m. (0 sq.ft.)	

**BUILDING AREA** 794.79 sq.m.(8555 sq.ft.)

A FIREWALL IS REQUIRED IF THE BUILDING AREA IS GREATER THAN 800 m2 (8458 sq ft) AS PER BUILDING CODE PART 9 LIMITATIONS SECTION 1.1.2.4 (1)  
DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2 IS THE EXTENT OF THE GREATEST HORIZONTAL BUILDING EXTERIOR WALLS ABOVE GRADE TO IF REQ'D THE CENTER OF THE FIREWALL (DEMISING LINE)

BUILDING AREA CALCULATION FOR FIREWALLS AS PER O.B.C. PART 1 SECTION 1.1.2.4.(1), PART 3.1. & 9.10.

**BUILDING AREA SEPARATED BY FIREWALL**

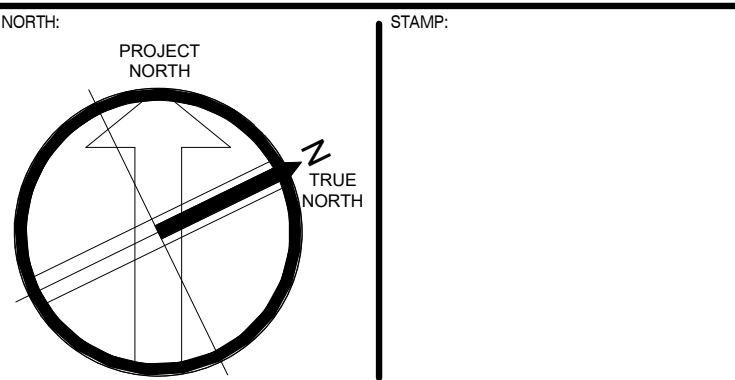
<b>BUILDING 2 (LEFT)</b>	<b>453.83 sq.m.(4885 sq.ft.)</b>
<b>BUILDING 2 (RIGHT)</b>	<b>341.88 sq.m.(3680 sq.ft.)</b>

REVISIONS	

SUBMITTALS	
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1. ISSUED FOR SPA SUBMISSION	2021.09.13	SL
No. Description	YYYY.MM.DD	By

CLIENT:



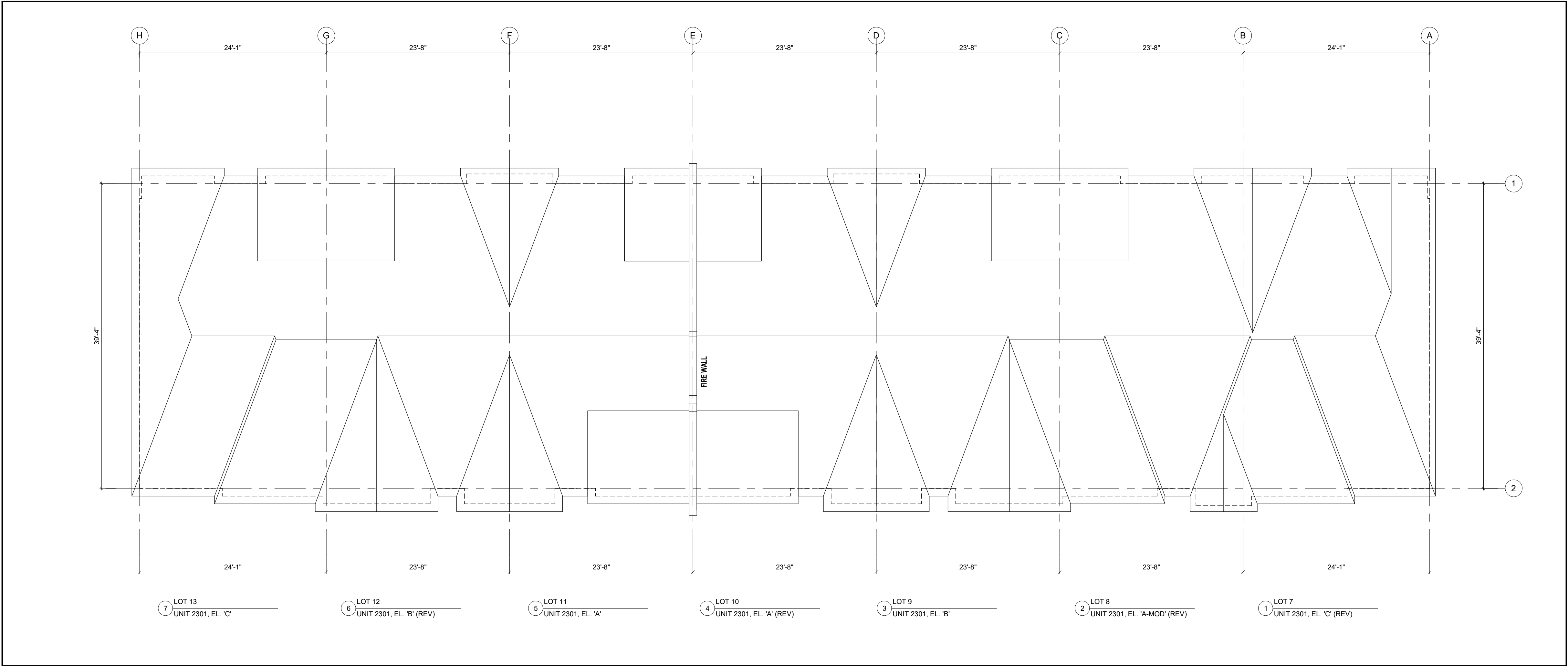
**4 ARCHITECTURE INC.**  
www.4architecture.ca  
8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7  
T. (905) 470 7212 / F. (905) 737 7326 email: mail@4architecture.ca

**MARSHALL HOMES - 220082**  
COBOURG, ON.

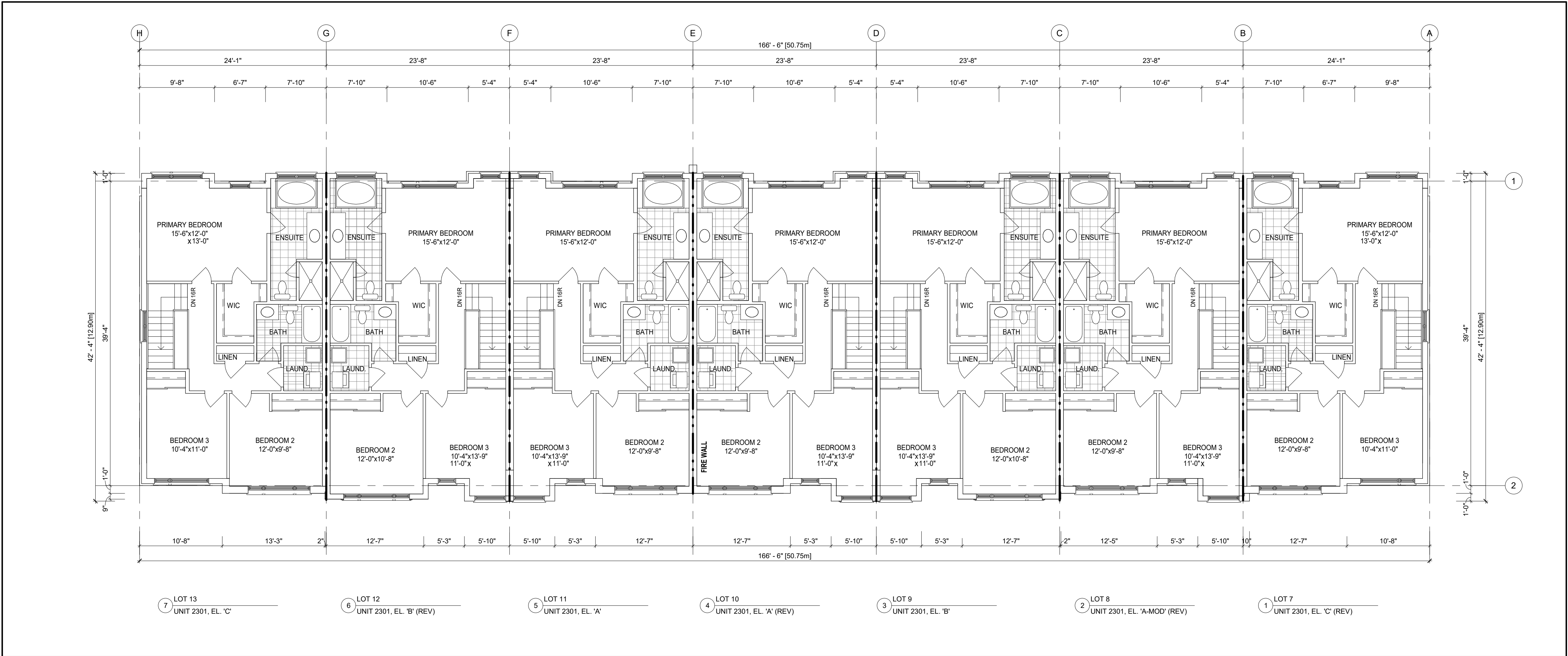
**FLOOR PLANS - BLOCK 2 (TYPE 'A')**

2021.09.13		
As indicated	Drawn By HM	Checked By SL
File Name: 220082DS_BLDG 2_TYPE A.rvt		

B2-1



2 ROOF PLAN  
1/8" = 1'-0"



1 SECOND FLOOR PLAN  
1/8" = 1'-0"

APPLICATION NUMBER:

APPLICATION NUMBER:

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LEGEND

- FIRE SEPARATION: 45 MIN. FRR
- . - FIRE SEPARATION: 1.0 HR FRR
- - - FIRE SEPARATION: 2.0 HR FRR

GROSS FLOOR AREA 1663.89 sq.m. (17910 sq.ft.)

LOT 7 (2301, EL.'C')	238.02 sq.m. (2562 sq.ft.)
LOT 8 (2301, EL.'A')	235.79 sq.m. (2538 sq.ft.)
LOT 9 (2301, EL.'B')	240.25 sq.m. (2586 sq.ft.)
LOT 10 (2301, EL.'A')	235.79 sq.m. (2538 sq.ft.)
LOT 11 (2301, EL.'A')	235.79 sq.m. (2538 sq.ft.)
LOT 12 (2301, EL.'B')	240.25 sq.m. (2586 sq.ft.)
LOT 13 (2301, EL.'C')	238.02 sq.m. (2562 sq.ft.)
	0.00 sq.m. (0 sq.ft.)

BUILDING AREA 794.79 sq.m.(8555 sq.ft.)

A FIREWALL IS REQUIRED IF THE BUILDING AREA IS GREATER THAN 800 m2 (8458 sq ft) AS PER BUILDING CODE PART 9 LIMITATIONS SECTION 1.1.2.4 (1)  
DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2, IS THE EXTENT OF THE GREATEST HORIZONTAL BUILDING EXTERIOR WALLS ABOVE GRADE TO IF REQ'D THE CENTER OF THE FIREWALL (DEMISING LINE)

BUILDING AREA CALCULATION FOR FIREWALLS AS PER O.B.C. PART 1 SECTION 1.1.2.4.(1), PART 3.1. & 9.10.

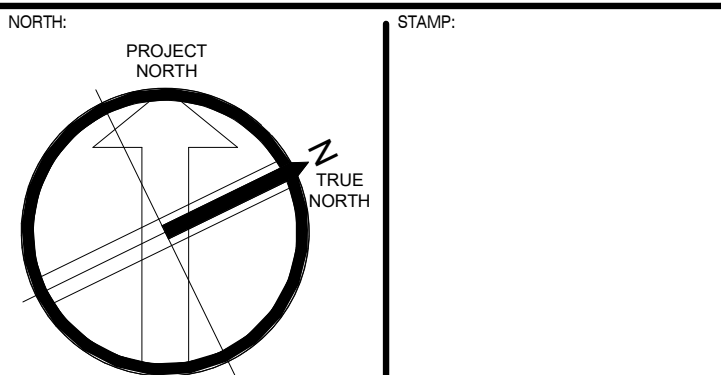
BUILDING AREA SEPERATED BY FIREWALL

BUILDING 2 (LEFT)	453.83 sq.m.(4885 sq.ft.)
BUILDING 2 (RIGHT)	341.88 sq.m.(3680 sq.ft.)

REVISIONS		
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SUBMITTALS		
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1.	ISSUED FOR SPA SUBMISSION	2021.09.13 SL
No.	Description	YYYY.MM.DD By

CLIENT:



4 ARCHITECTURE INC  
WWW.4ARCHITECTURE.CA  
8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7  
T: (905) 470 7212 / F: (905) 737 7326 email: mail@4architecture.ca

MARSHALL HOMES - 220082  
COBOURG, ON.

FLOOR PLANS -  
BUILDING 2 (TYPE 'A')

2021.09.13

As indicated Drawn By HM Checked By SL

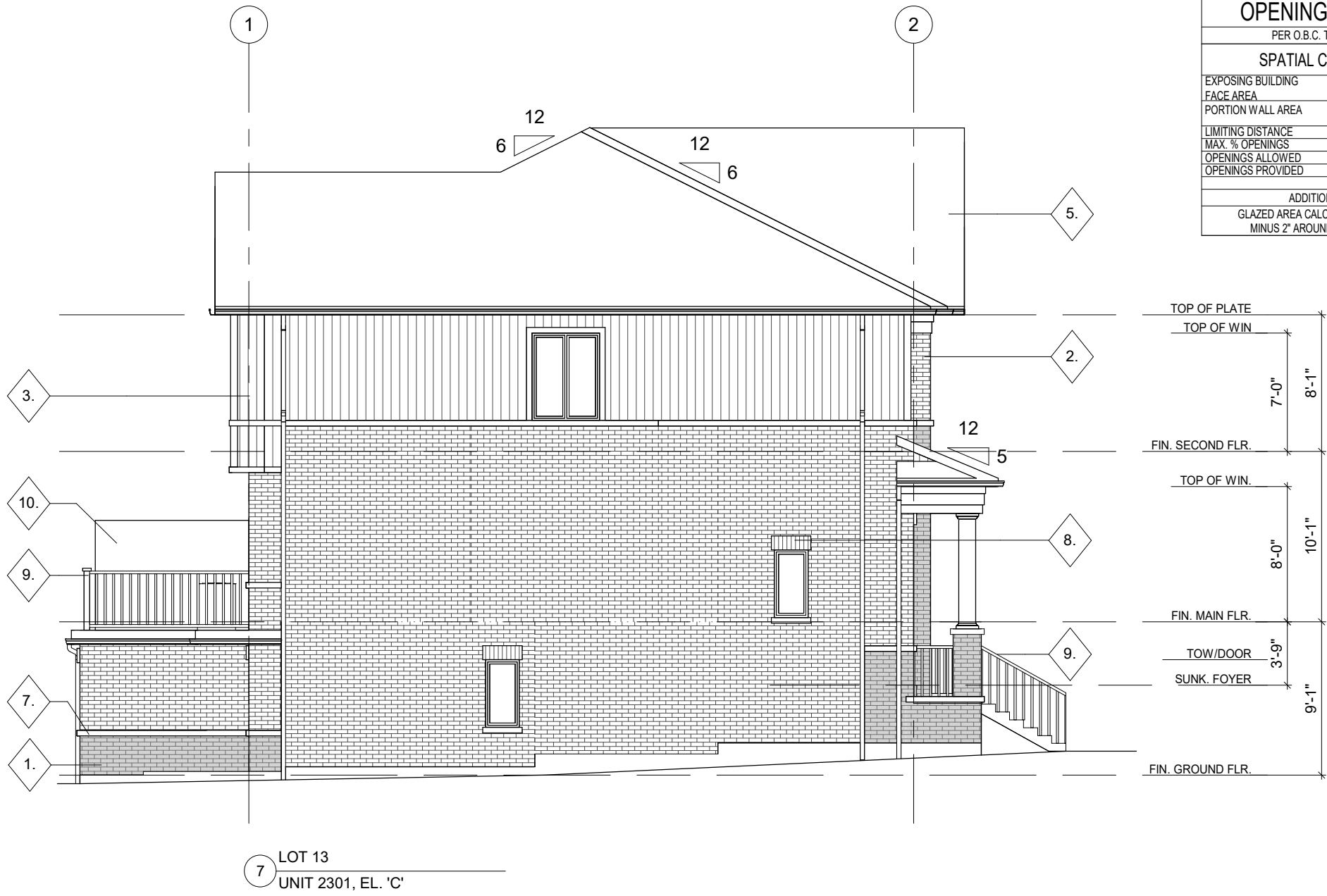
220082DS\_BLDG 2\_TYPE A.rvt

B2-2



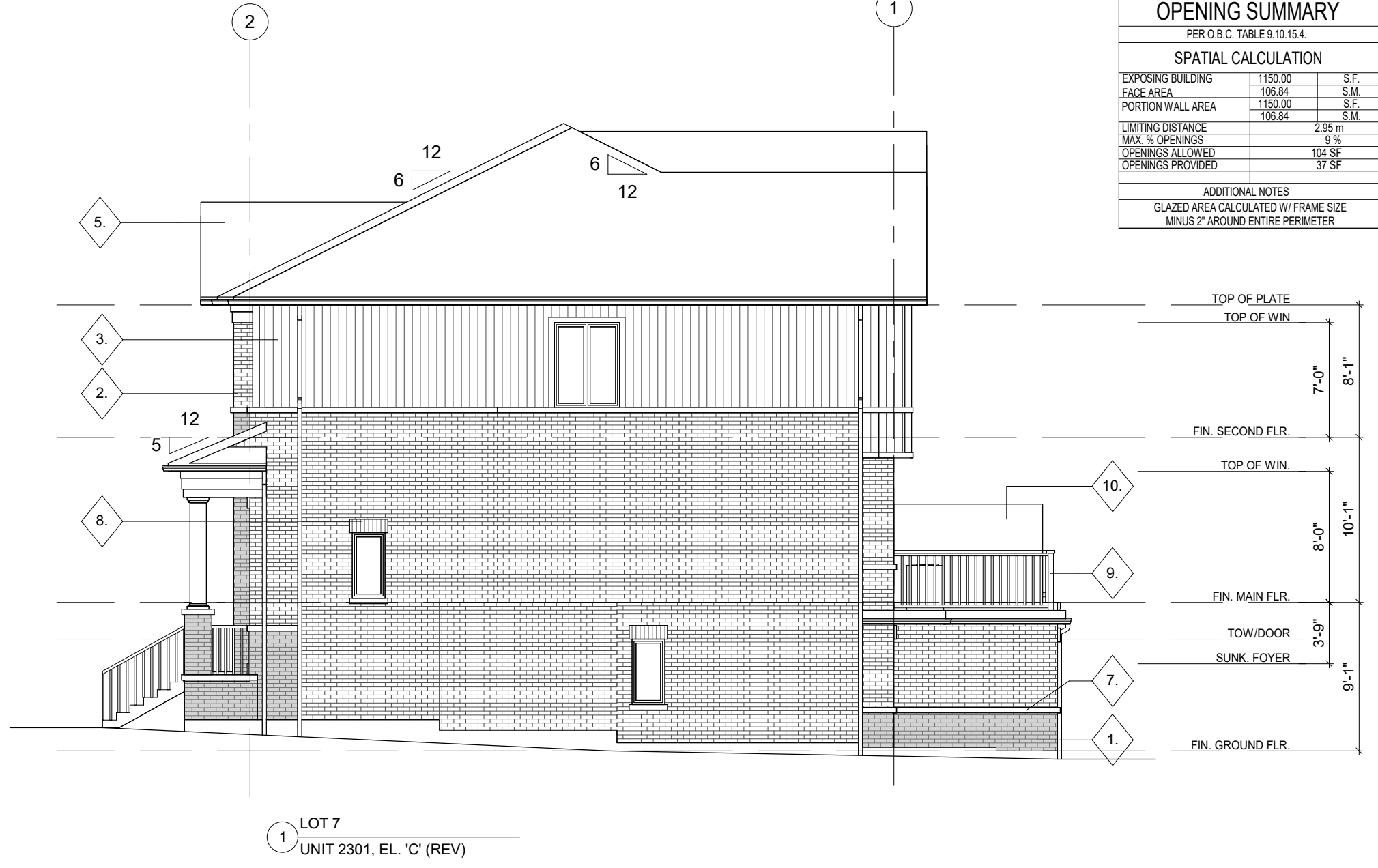
EXTERIOR COLOUR SELECTION	MANUFACTURER	1	2	3
Roof	BP Mystique	54-Tonnes	61-Tonnes	54-Tonnes
Soffit, Eavestrougher, RVL and Frieze Board	Gianola Aluminum	State	Iron Ore	State
Brick 1 (Base Brick)	Meridian Brick	Portland	Vanier	Vanier
Brick 2 (Upper Brick)	Meridian Brick	Kelowna	Portland	Kelowna
Vinyl Siding, (including corner trim & caps)	Mitan	Stratus	White	Stratus
Non-combustible Siding Where required	James Hardie	colour to match Vinyl Siding		
Front Door & Garage Door	Sherwin Williams	Perla Noir SW 9154	Perla Noir SW 9154	Perla Noir SW 9154
Prefinished Exterior Trim, Panels, Exterior Posts & Door Frame	Sherwin Williams	Popular Gray SW6071	Popular Gray SW6071	Popular Gray SW6071
Windows	Newmar	Black	Black	Black
Railings	Arport Railing	Black	Black	Black

OPENING SUMMARY		
PER O.B.C. TABLE 8.10.15.4		
SPATIAL CALCULATION		
EXPOSING BUILDING	1150.00	S.F.
FACE AREA	106.84	S.M.
PORTION WALL AREA	1150.00	S.F.
	106.84	S.M.
LIMITING DISTANCE	3.64 m	
MAX. % OPENINGS	10%	
OPENINGS ALLOWED	115 SF	
OPENINGS PROVIDED	37 SF	
ADDITIONAL NOTES		
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER		



4 LEFT SIDE ELEVATION  
1/8" = 1'-0"

OPENING SUMMARY		
PER O.B.C. TABLE 8.10.15.4		
SPATIAL CALCULATION		
EXPOSING BUILDING	1150.00	S.F.
FACE AREA	106.84	S.M.
PORTION WALL AREA	1150.00	S.F.
	106.84	S.M.
LIMITING DISTANCE	3.64 m	
MAX. % OPENINGS	10%	
OPENINGS ALLOWED	115 SF	
OPENINGS PROVIDED	37 SF	
ADDITIONAL NOTES		
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER		



3 RIGHT SIDE ELEVATION  
1/8" = 1'-0"



2 FRONT ELEVATION  
1/8" = 1'-0"



1 REAR ELEVATION  
1/8" = 1'-0"

APPLICATION NUMBER:

APPLICATION NUMBER:

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#### MATERIAL LEGEND

- 1 BRICK VENEER 1
- 2 BRICK VENEER 2
- 3 VERTICAL SIDING
- 4 HORIZONTAL SIDING
- 5 ASPHALT SHINGLES
- 6 ALUMINUM FRIEZE BOARD
- 7 PRECAST CONC. SILL / BANDING
- 8 BRICK SOLDIER COURSE
- 9 ALUMINIUM RAILING
- 10 PRIVACY SCREEN

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1. ISSUED FOR SPA SUBMISSION	2021.09.13	SL
No. Description	YYYY.MM.DD	By

CLIENT:	
NORTH:	STAMP:

4 ARCHITECTURE INC.  
WWW.4ARCHITECTURE.CA  
8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7  
T: (905) 470 7212 / F: (905) 737 7326 email: mail@4architecture.ca

MARSHALL HOMES - 220082  
COBOURG, ON.

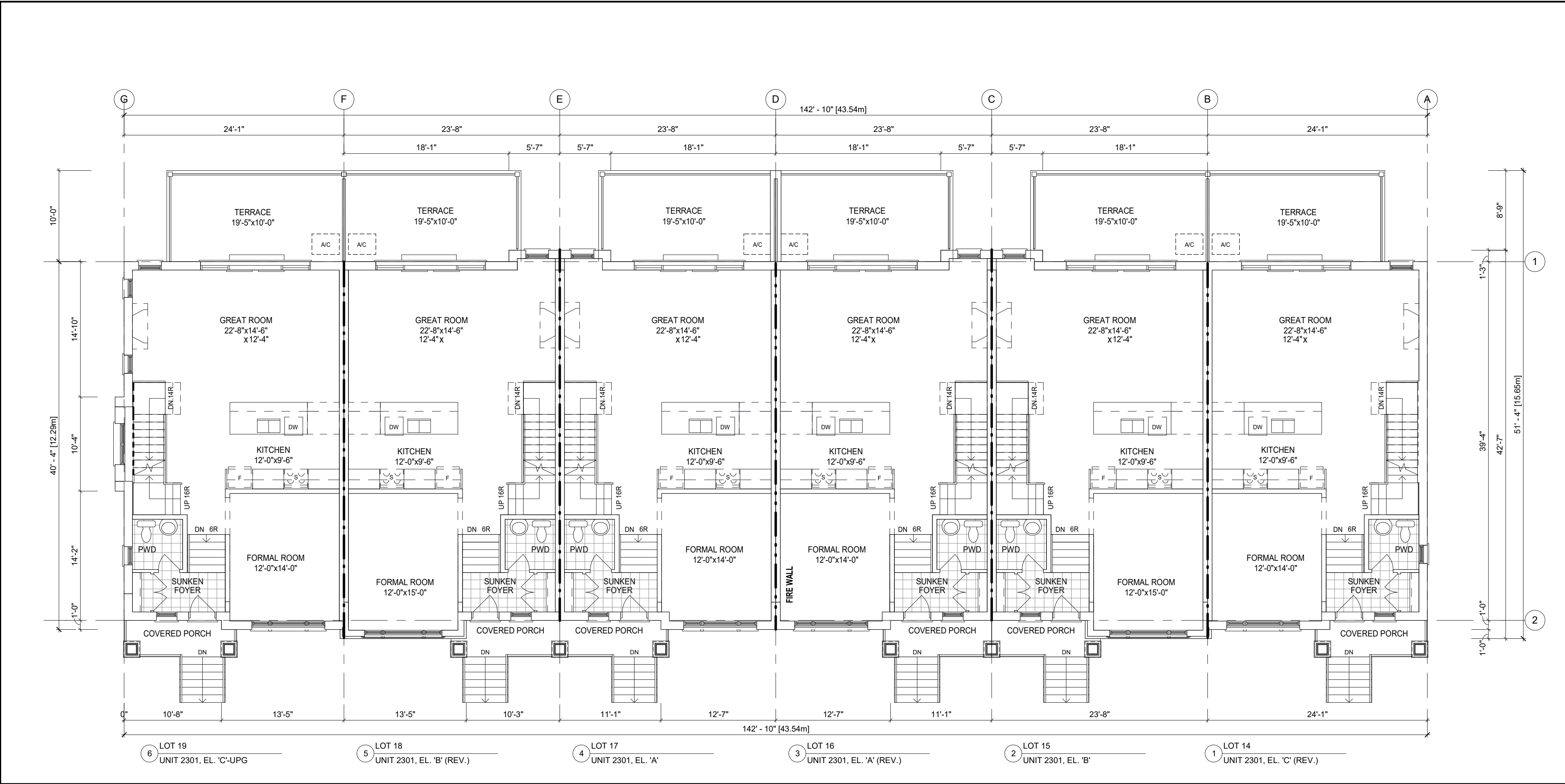
ELEVATIONS -  
BUILDING 2 (TYPE 'A')

2021.09.13

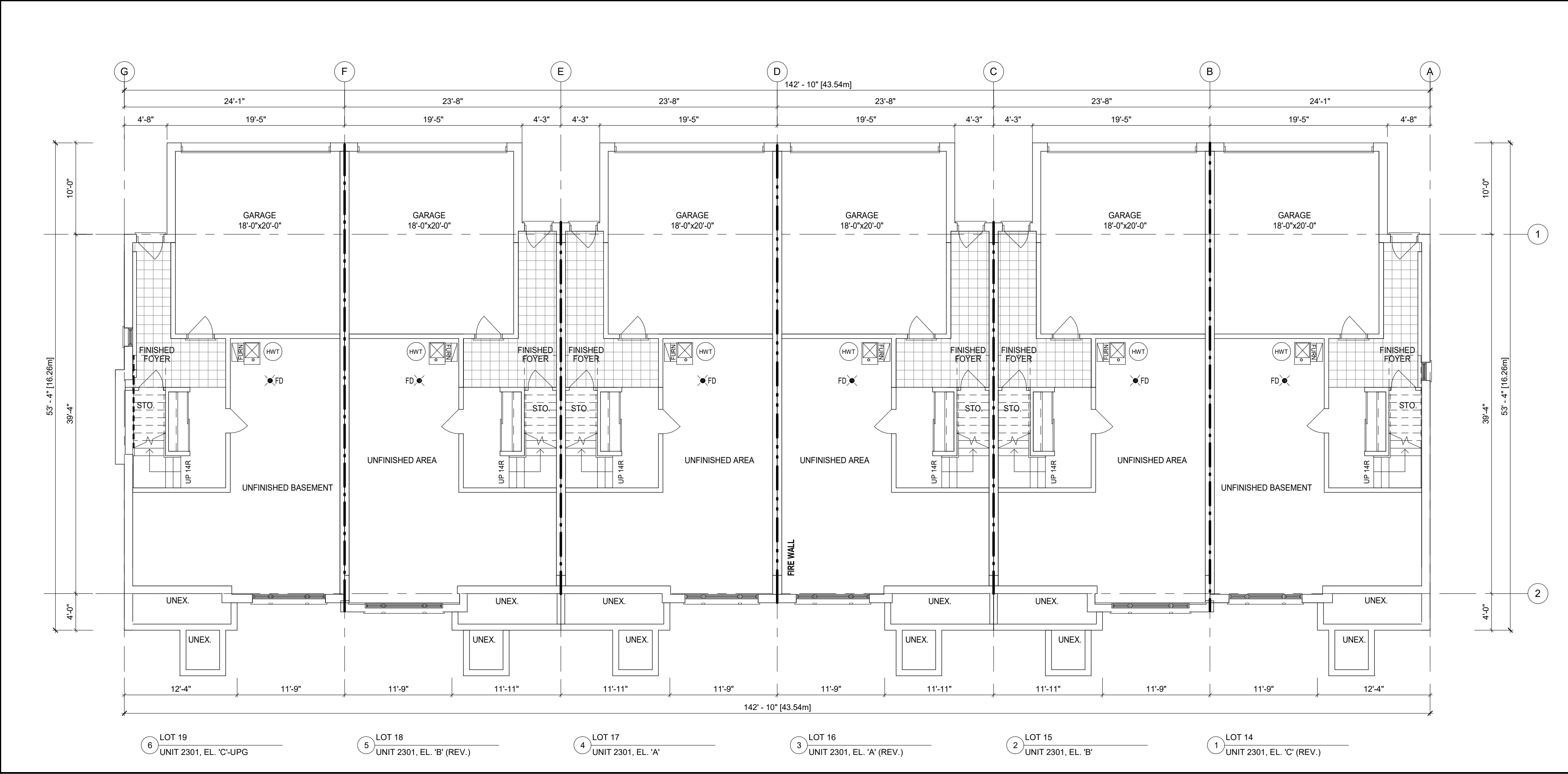
Scale	Drawn By	Checked By
1/8" = 1'-0"	HM	SL
File Name	220082DS_BLDG 2_TYPE A.rvt	

B2-3





2 MAIN FLOOR PLAN  
1/8" = 1'-0"



1 GROUND FLOOR PLAN  
1/8" = 1'-0"

APPLICATION NUMBER:

APPLICATION NUMBER:

NOTES:  
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DRAWINGS ARE NOT TO BE SCALED.

LEGEND

- FIRE SEPARATION: 45 MIN FRR
- . - FIRE SEPARATION: 1.0 HR FRR
- - - FIRE SEPARATION: 2.0 HR FRR

GROSS FLOOR AREA 1430.34 sq.m. (15396 sq.ft.)

LOT 14 (2301, EL.'C')	238.02 sq.m. (2562 sq.ft.)
LOT 15 (2301, EL.'B')	240.25 sq.m. (2586 sq.ft.)
LOT 16 (2301, EL.'A')	235.79 sq.m. (2538 sq.ft.)
LOT 17 (2301, EL.'A')	235.79 sq.m. (2538 sq.ft.)
LOT 18 (2301, EL.'B')	240.25 sq.m. (2586 sq.ft.)
LOT 19 (2301, EL.'C-UPG')	240.25 sq.m. (2586 sq.ft.)
-	0.00 sq.m. (0 sq.ft.)
-	0.00 sq.m. (0 sq.ft.)

BUILDING AREA 683.77 sq.m.(7360 sq.ft.)

A FIREWALL IS REQUIRED IF THE BUILDING AREA IS GREATER THAN 800 m2 (8458 sq ft) AS PER BUILDING CODE PART 9 LIMITATIONS SECTION 1.1.2.4.(1)  
DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2. IS THE EXTENT OF THE GREATEST HORIZONTAL BUILDING EXTERIOR WALLS ABOVE GRADE TO IF REQ'D THE CENTER OF THE FIREWALL (DEMISING LINE)

BUILDING AREA CALCULATION FOR FIREWALLS AS PER O.B.C. PART 1 SECTION 1.1.2.4.(1), PART 3.1. & 9.10.

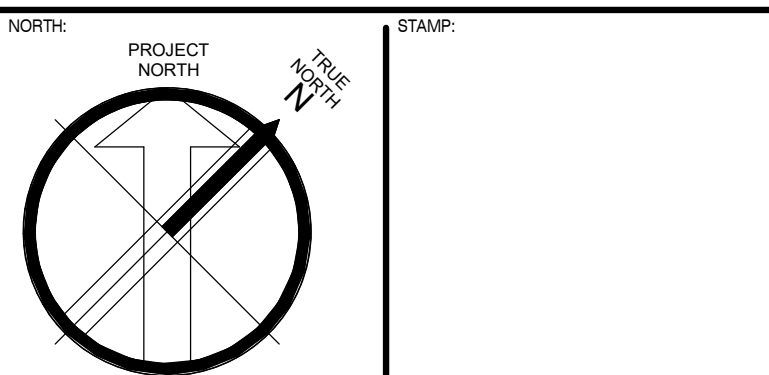
BUILDING AREA SEPERATED BY FIREWALL

N/A	341.88 sq.m.(3680 sq.ft.)
N/A	341.88 sq.m.(3680 sq.ft.)

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1.	ISSUED FOR SPA SUBMISSION	2021.09.09	SL
No.	Description	YYYY.MM.DD	By

CLIENT: MARSHALL HOMES



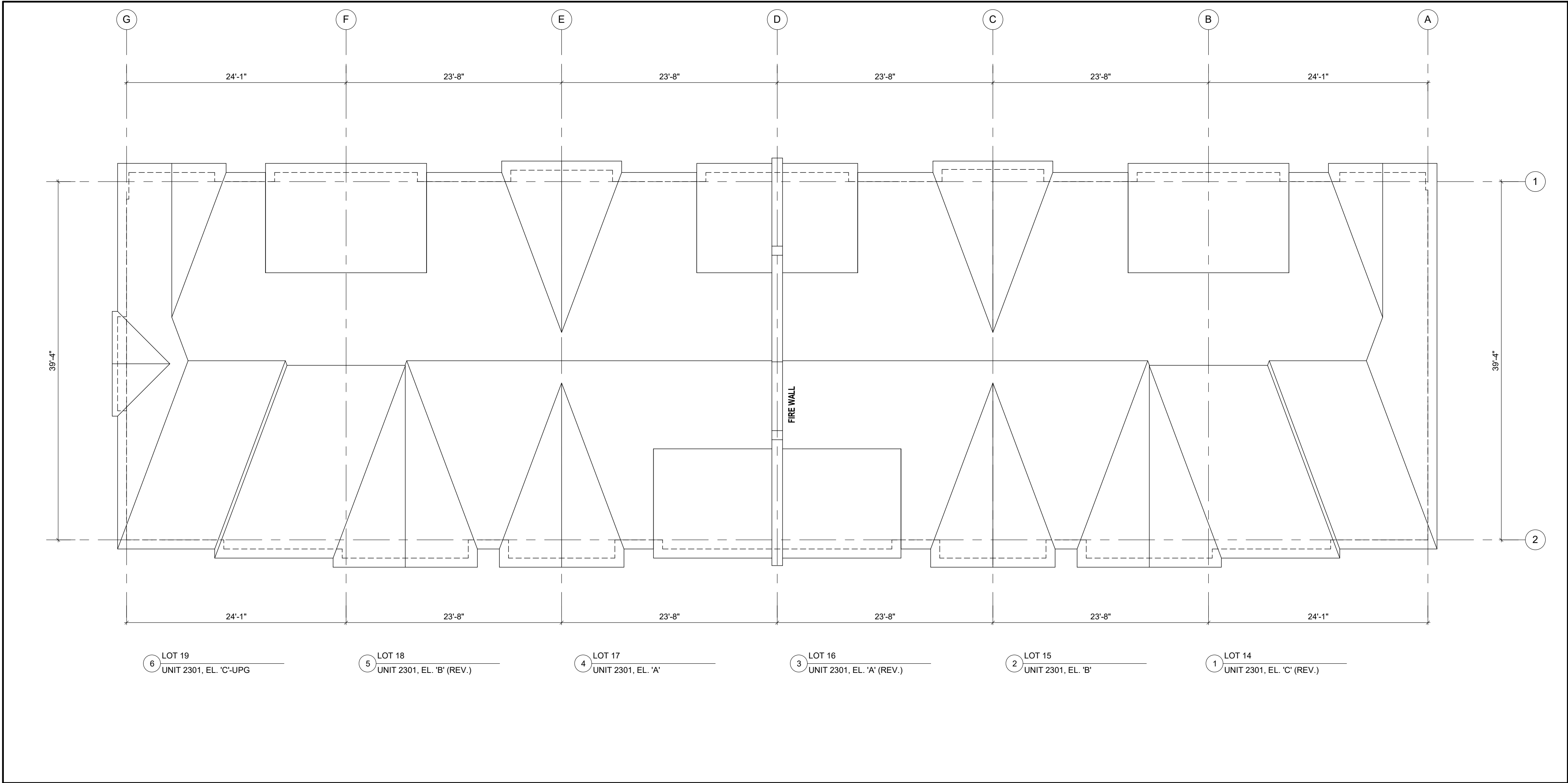
4 ARCHITECTURE INC.  
8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7  
T: (905) 470 7212 / F: (905) 737 7326 email: mail@4architecture.ca

MARSHALL HOMES - 220082  
COBOURG, ON.

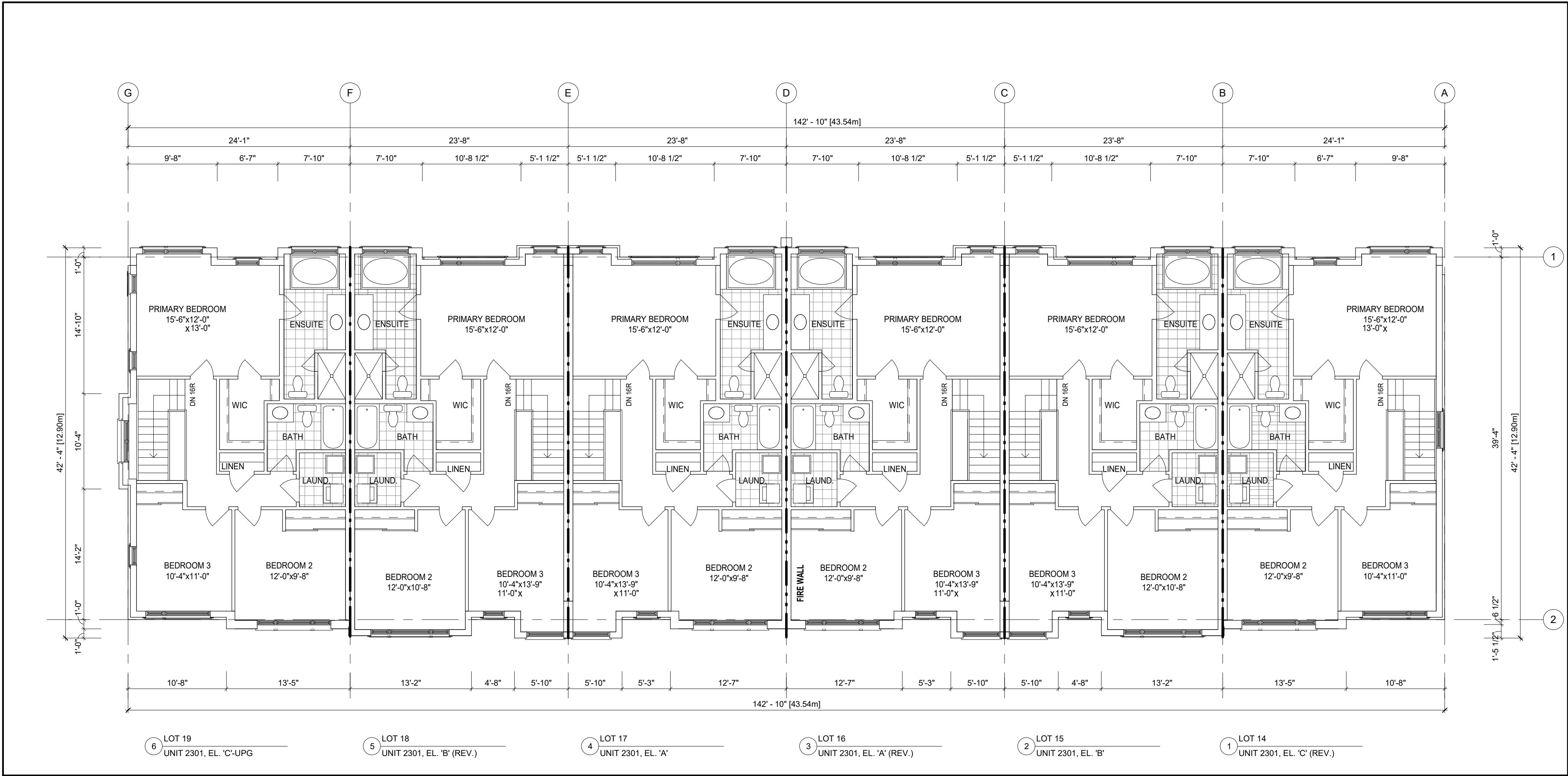
FLOOR PLANS  
- BUILDING 3 (TYPE 'A')

2021.09.13  
As indicated  
HM  
SL  
220082DS\_BLDG 3\_TYPE A.rvt

B3-1



2 ROOF PLAN  
1/8" = 1'-0"



1 SECOND FLOOR PLAN  
1/8" = 1'-0"

APPLICATION NUMBER:

APPLICATION NUMBER:

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LEGEND

--- FIRE SEPARATION: 45 MIN FRR  
- . - FIRE SEPARATION: 1.0 HR FRR  
- - - FIRE SEPARATION: 2.0 HR FRR

GROSS FLOOR AREA 1430.34 sq.m. (15396 sq.ft.)

LOT 14 (2301, EL.'C')	238.02 sq.m. (2562 sq.ft.)
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LOT 19 (2301, EL.'C-UPG')	240.25 sq.m. (2586 sq.ft.)
-	0.00 sq.m. (0 sq.ft.)
-	0.00 sq.m. (0 sq.ft.)

BUILDING AREA 683.77 sq.m.(7360 sq.ft.)

A FIREWALL IS REQUIRED IF THE BUILDING AREA IS GREATER THAN 800 m2 (8458 sq ft) AS PER BUILDING CODE PART 9 LIMITATIONS SECTION 1.1.2.4 (1)  
DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2 IS THE EXTENT OF THE GREATEST HORIZONTAL BUILDING EXTERIOR WALLS ABOVE GRADE TO IF REQ'D THE CENTER OF THE FIREWALL (DEMISING LINE)

BUILDING AREA CALCULATION FOR FIREWALLS AS PER O.B.C. PART 1 SECTION 1.1.2.4.(1), PART 3.1. & 9.10.

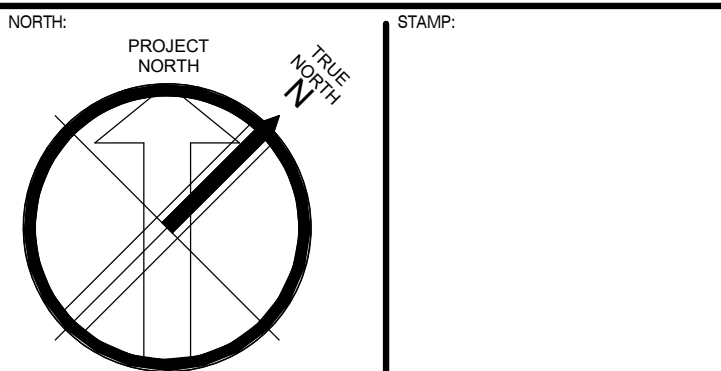
BUILDING AREA SEPERATED BY FIREWALL

N/A	341.88 sq.m.(3680 sq.ft.)
N/A	341.88 sq.m.(3680 sq.ft.)

REVISIONS		
1	ISSUED FOR SPA SUBMISSION	2021.09.13 SL

SUBMITTALS		
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CLIENT: MARSHALL HOMES



4 ARCHITECTURE INC.  
8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7  
T: (905) 470 7212 / F: (905) 737 7326 email: mail@4architecture.ca

MARSHALL HOMES - 220082  
COBOURG, ON.

FLOOR PLAN & ROOF PLAN  
- BUILDING 3 (TYPE 'A')

2021.09.13	As indicated	Drawn By HM	Checked By SL
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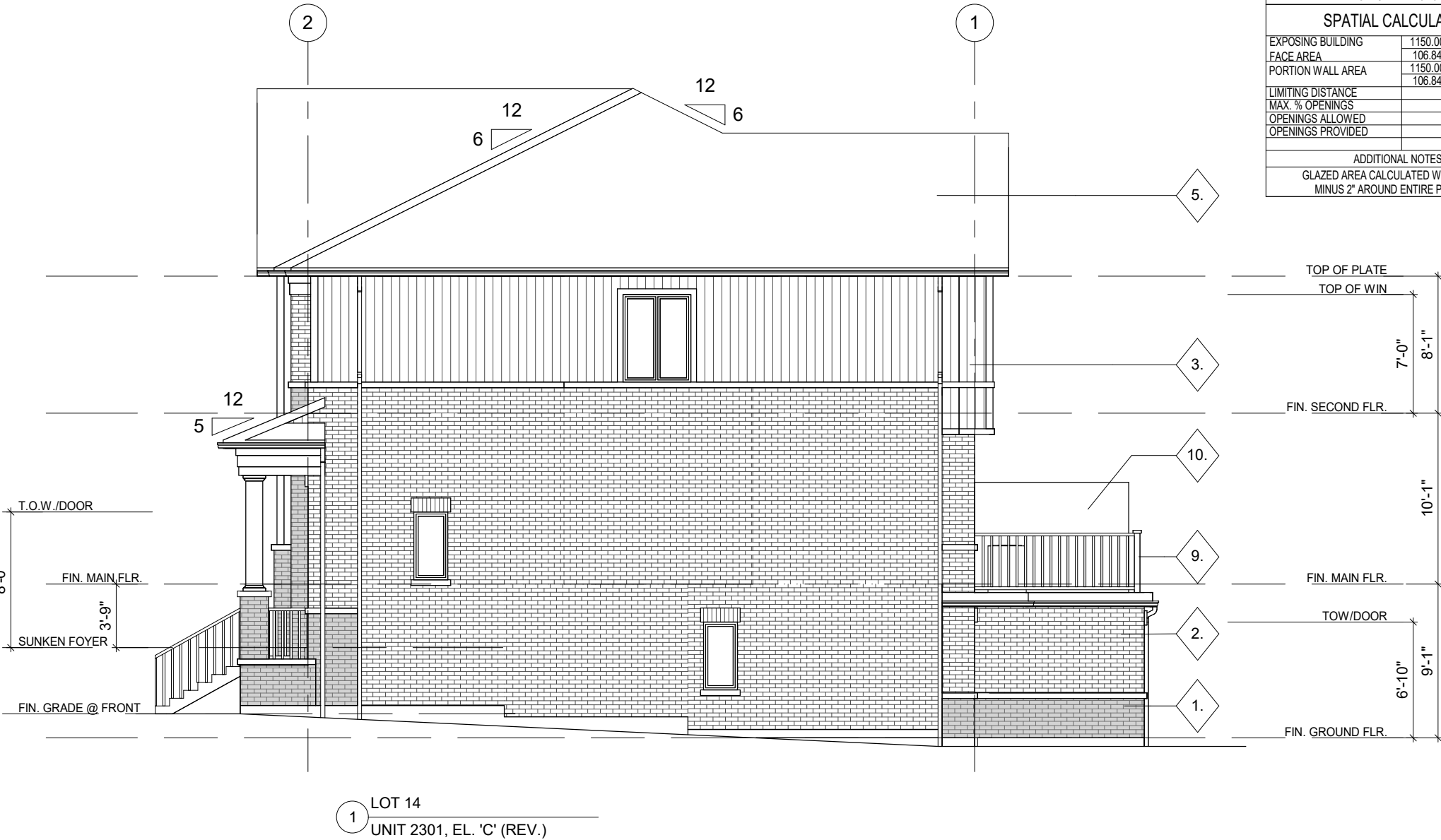
B3-2



EXTERIOR COLOUR SELECTION	MANUFACTURER	1	2	3
Roof	BP Mystique	5th Tons	6th Tons	5th Tons
Soffit, Eavestrougher, RVL and Frieze Board	Gianola Aluminum	State	Iron Ore	State
Brick 1 (Base Brick)	Meridian Brick	Portland	Vanier	Vanier
Brick 2 (Upper Brick)	Meridian Brick	Kelowna	Portland	Kelowna
Vinyl Siding, (including corner trim & caps)	Mitan	Stratus	White	Stratus
Non-combustible Siding Where required	James Hardie	colour to match Vinyl Siding		
Front Door & Garage Door	Sherwin Williams	Pure Nor SW 9154	Pure Nor SW 9154	Pure Nor SW 9154
Prefinished Exterior Trim, Panels, Exterior Posts & Door Frame	Sherwin Williams	Popular Gray SW6071	Popular Gray SW6071	Popular Gray SW6071
Windows	Newmar	Black	Black	Black
Railings	Airport Railing	Black	Black	Black



OPENING SUMMARY		
PER O.B.C. TABLE 9.10.15.4		
SPATIAL CALCULATION		
EXPOSING BUILDING	1150.00	8'7"
FACE AREA	106.84	5'10"
PORTION WALL AREA	1150.00	8'7"
MAX. 1" OPENINGS	15.45	1'5"
OPENINGS ALLOWED	63.3	8'7"
OPENINGS PROVIDED	14.3	8'7"
ADDITIONAL NOTES		
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER		



OPENING SUMMARY		
PER O.B.C. TABLE 9.10.15.4		
SPATIAL CALCULATION		
EXPOSING BUILDING	1150.00	8'7"
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MAX. 1" OPENINGS	15.45	1'5"
OPENINGS ALLOWED	63.3	8'7"
OPENINGS PROVIDED	14.3	8'7"
ADDITIONAL NOTES		
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER		

4 LEFT SIDE ELEVATION  
1/8" = 1'-0"

3 RIGHT SIDE ELEVATION  
1/8" = 1'-0"



2 FRONT ELEVATION  
1/8" = 1'-0"



1 REAR ELEVATION  
1/8" = 1'-0"

APPLICATION NUMBER:

APPLICATION NUMBER:

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MATERIAL LEGEND

- 1 BRICK VENEER 1
- 2 BRICK VENEER 2
- 3 VERTICAL SIDING
- 4 HORIZONTAL SIDING
- 5 ASPHALT SHINGLES
- 6 ALUMINUM FRIEZE BOARD
- 7 PRECAST CONC. SILL / BANDING
- 8 BRICK SOLDIER COURSE
- 9 ALUMINIUM RAILING
- 10 PRIVACY SCREEN

REVISIONS		
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1	ISSUED FOR SPA SUBMISSION	2021.09.13	SL
No.	Description	YYYY.MM.DD	By

CLIENT:	MARSHALL HOMES
NORTH:	STAMP:

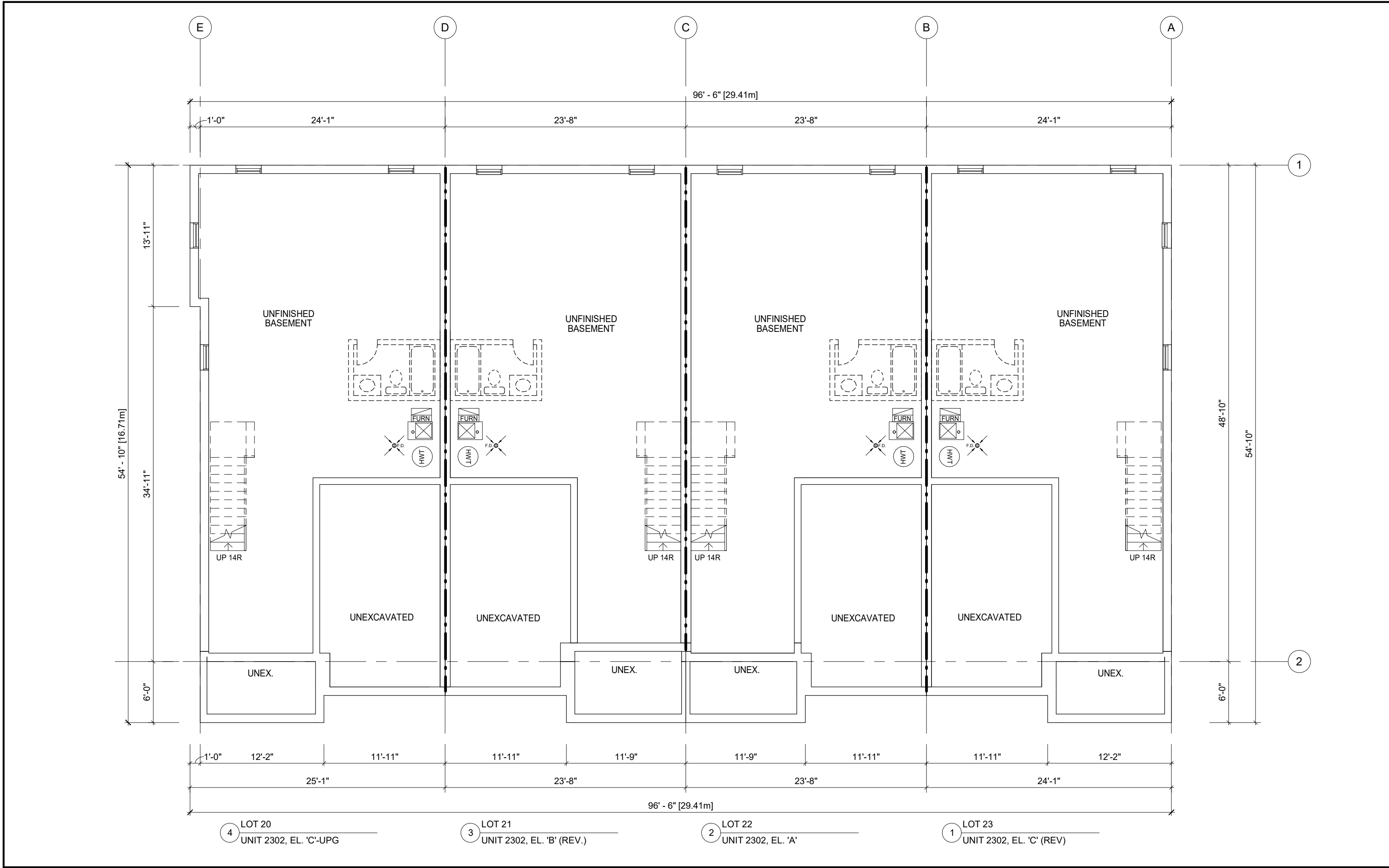
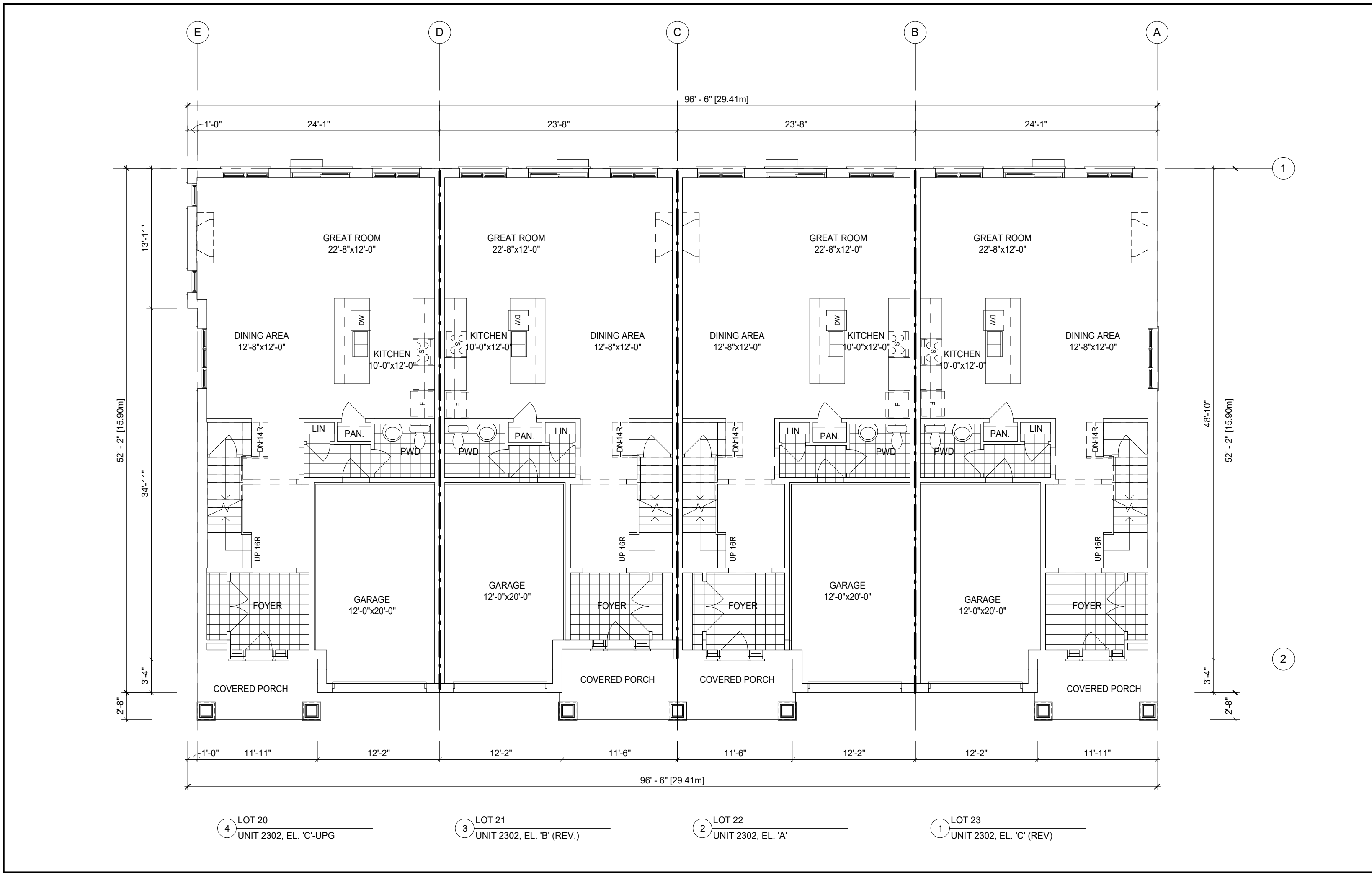
4 ARCHITECTURE INC.  
www.4architecture.ca  
8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7  
T: (905) 470 7212 / F: (905) 737 7326 email: mail@4architecture.ca

MARSHALL HOMES - 220082  
COBourg, ON.

ELEVATIONS  
- BUILDING 3 (TYPE 'A')  
2021.09.13

Scale	1/8" = 1'-0"	Drawn By	HM	Checked By	SL
File Name	220082DS_BLDG 3_TYPE A.rvt				

B3-3



APPLICATION NUMBER:

APPLICATION NUMBER:

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GROSS FLOOR AREA	772.95 sq.m. (8320 sq.ft.)
LOT 20 (2302, EL.'C'-UPG)	198.07 sq.m. (2132 sq.ft.)
LOT 21 (2302, EL.'B')	188.96 sq.m. (2034 sq.ft.)
LOT 22 (2302, EL.'A')	191.10 sq.m. (2057 sq.ft.)
LOT 23 (2302, EL.'C')	194.82 sq.m. (2097 sq.ft.)
	0.00 sq.m. (0 sq.ft.)
	0.00 sq.m. (0 sq.ft.)
	0.00 sq.m. (0 sq.ft.)

**BUILDING AREA** 477.34 sq.m.(5138 sq.ft.)

A FIREWALL IS REQUIRED IF THE BUILDING AREA IS GREATER THAN 600 m2 (6458 sq.ft.) AS PER BUILDING CODE PART 9 LIMITATIONS SECTION 1.1.2.4.(1)  
\*\* DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2. IS THE EXTENT OF THE GREATEST HORIZONTAL BUILDING EXTERIOR WALLS ABOVE GRADE TO IF REQ'D THE CENTER OF THE FIREWALL (DEMISING LINE)

BUILDING AREA CALCULATION FOR FIREWALLS AS PER O.B.C. PART 1 SECTION 1.1.2.4.(1), PART 3.1. & 9.10.

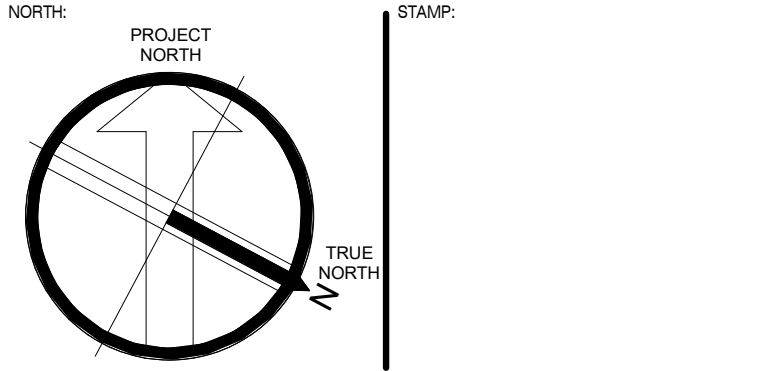
BUILDING AREA SEPERATED BY FIREWALL	
N/A	0.00 sq.m. (0 sq.ft.)
N/A	0.00 sq.m. (0 sq.ft.)

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1. ISSUED FOR SPA SUBMISSION	2021.09.13	SL
No. Description	YYYY/MM/DD	By

CLIENT: MARSHALL HOMES



**4 ARCHITECTURE INC.**  
www.4architecture.ca  
8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7  
T: (905) 470 7212 // F: (905) 737 7326 email: mail@4architecture.ca

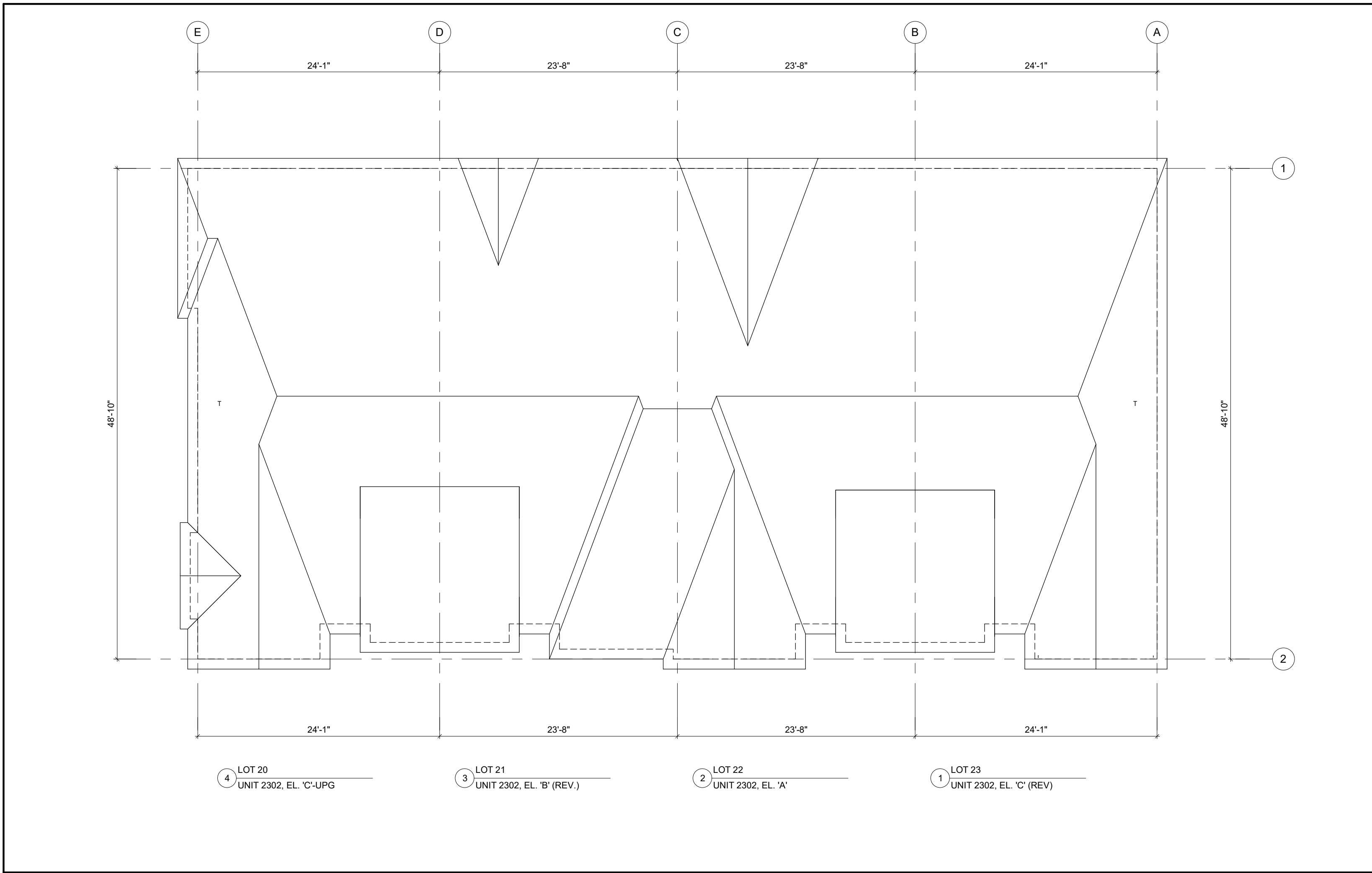
**MARSHALL HOMES - 220082**  
COBOURG, ON.

**FLOOR PLANS**  
- BUILDING 4 (TYPE 'A')

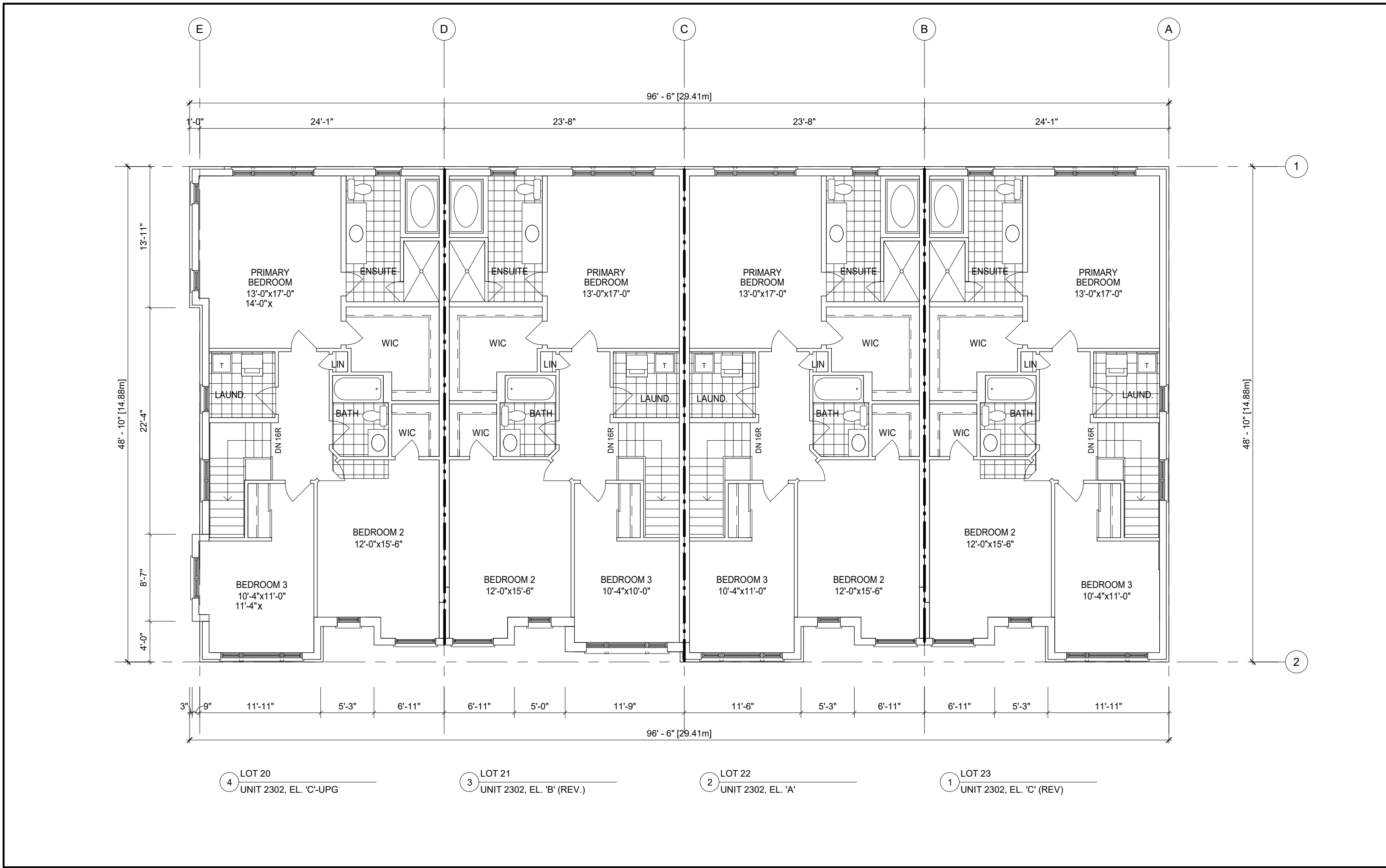
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Drawn By	HM	SL
Checked By		

**B4-1**





2 ROOF PLAN  
1/8" = 1'-0"



1 SECOND FLOOR PLAN  
1/8" = 1'-0"

APPLICATION NUMBER:

APPLICATION NUMBER:

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LEGEND	
---	FIRE SEPARATION: 45 MIN. FRR
- . -	FIRE SEPARATION: 1.0 HR FRR
- - -	FIRE SEPARATION: 2.0 HR FRR

GROSS FLOOR AREA		772.95 sq.m. (8320 sq.ft.)
LOT 20 (2302, EL. 'C'-UPG)	198.07 sq.m. (2132 sq.ft.)	
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LOT 23 (2302, EL. 'C')	194.82 sq.m. (2097 sq.ft.)	
	0.00 sq.m. (0 sq.ft.)	
	0.00 sq.m. (0 sq.ft.)	
	0.00 sq.m. (0 sq.ft.)	
	0.00 sq.m. (0 sq.ft.)	

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A FIREWALL IS REQUIRED IF THE BUILDING AREA IS GREATER THAN 600 m2 (6458 sq ft) AS PER BUILDING CODE PART 9 LIMITATIONS SECTION 1.1.2.4.(1)  
\*\* DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2. IS THE EXTENT OF THE GREATEST HORIZONTAL BUILDING EXTERIOR WALLS ABOVE GRADE TO IF REQ'D THE CENTER OF THE FIREWALL (DEMISING LINE)

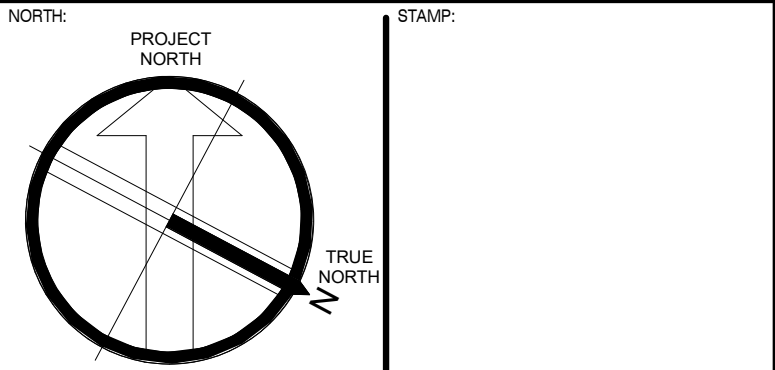
BUILDING AREA CALCULATION FOR FIREWALLS AS PER O.B.C. PART 1 SECTION 1.1.2.4.(1), PART 3.1. & 9.10.

BUILDING AREA SEPERATED BY FIREWALL		
N/A	0.00 sq.m. (0 sq.ft.)	
N/A	0.00 sq.m. (0 sq.ft.)	

REVISIONS		
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1	ISSUED FOR SPA SUBMISSION	2021.09.13 SL
No.	Description	YYYY/MM/DD By

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**MARSHALL HOMES - 220082**  
COBOURG, ON.

**FLOOR PLAN & ROOF PLAN**  
**- BUILDING 4 (TYPE 'A')**

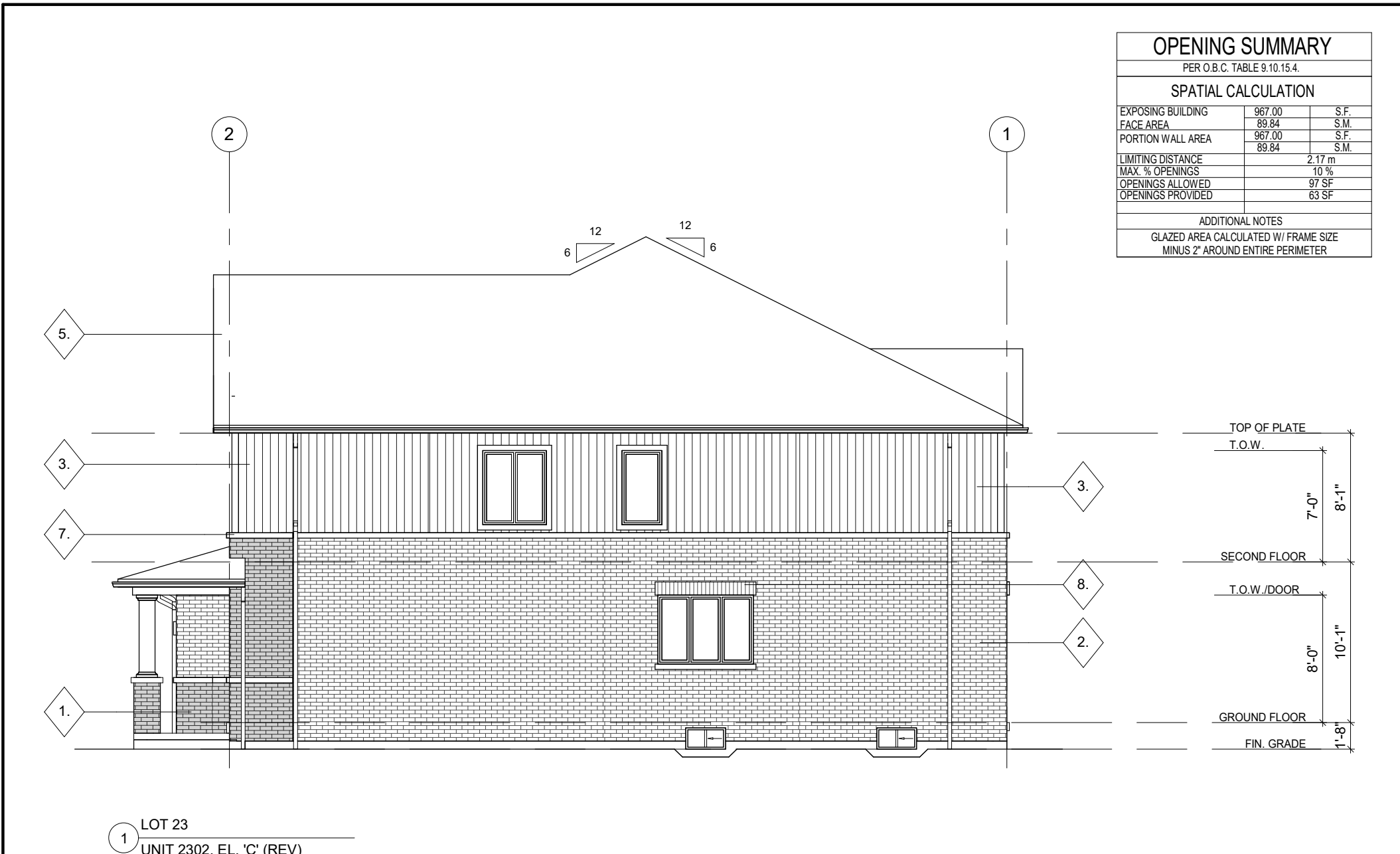
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B4-2

EXTERIOR COLOUR SELECTION	MANUFACTURER	1	2	3
Roof	BP Mystique	Std. Towns	RL Towns	Stacked Towns
Soffit, Eavestroughs, RWL and Freize Board	Giancola Aluminum	2-Tone Black	2-Tone Black	2-Tone Black
Brick 1 (Base Brick)	Meridian Brick	Portland	Vanier	Vanier
Brick 2 (Upper Brick)	Meridian Brick	Kelowna	Portland	Kelowna
Vinyl Siding (including corner trim & capping)	Mitten	Stratus	White	Stratus
Non-combustible Siding Where required	James Hardie	colour to match Vinyl Siding		
Front Door & Garage Door	Sherwin Williams	Perle Noir SW 9154	Perle Noir SW 9154	Perle Noir SW 9154
Prefinished Exterior Trim, Panels, Exterior Posts & Door Frame	Sherwin Williams	Popular Gray SW6071	Popular Gray SW6071	Popular Gray SW6071
Windows	Newmar	Black	Black	Black
Railings	Airport Railing	Black	Black	Black



4 LEFT SIDE ELEVATION  
1/8" = 1'-0"



3 RIGHT SIDE ELEVATION  
1/8" = 1'-0"



2 FRONT ELEVATION  
1/8" = 1'-0"



1 REAR ELEVATION  
1/8" = 1'-0"

APPLICATION NUMBER:

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DRAWINGS ARE NOT TO BE SCALED.

#### MATERIAL LEGEND

- 1 BRICK VENEER 1
- 2 BRICK VENEER 2
- 3 VERTICAL SIDING
- 4 HORIZONTAL SIDING
- 5 ASPHALT SHINGLES
- 6 ALUMINUM FRIEZE BOARD
- 7 PRECAST CONC. SILL / BANDING
- 8 BRICK SOLDIER COURSE
- 9 ALUMINIUM RAILING
- 10 PRIVACY SCREEN

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ISSUED FOR SPA SUBMISSION		2021.09.13 SL
No.	Description	YYYY.MM.DD By

CLIENT: MARSHALL HOMES

NORTH: STAMP:

4 ARCHITECTURE INC.  
8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7  
T. (905) 470 7212 / F. (905) 737 7326 email: mail@4architecture.ca

MARSHALL HOMES - 220082  
COBOURG, ON.

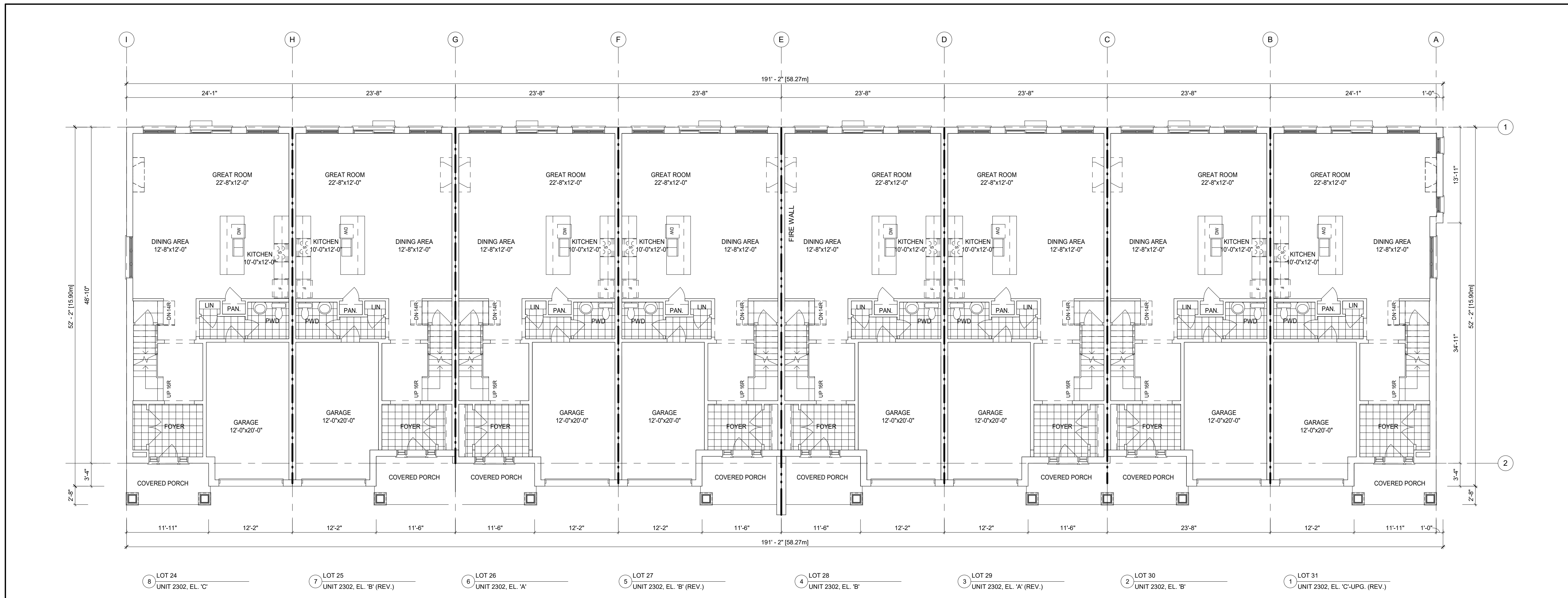
ELEVATIONS  
- BUILDING 4 (TYPE 'A')

2021.09.13

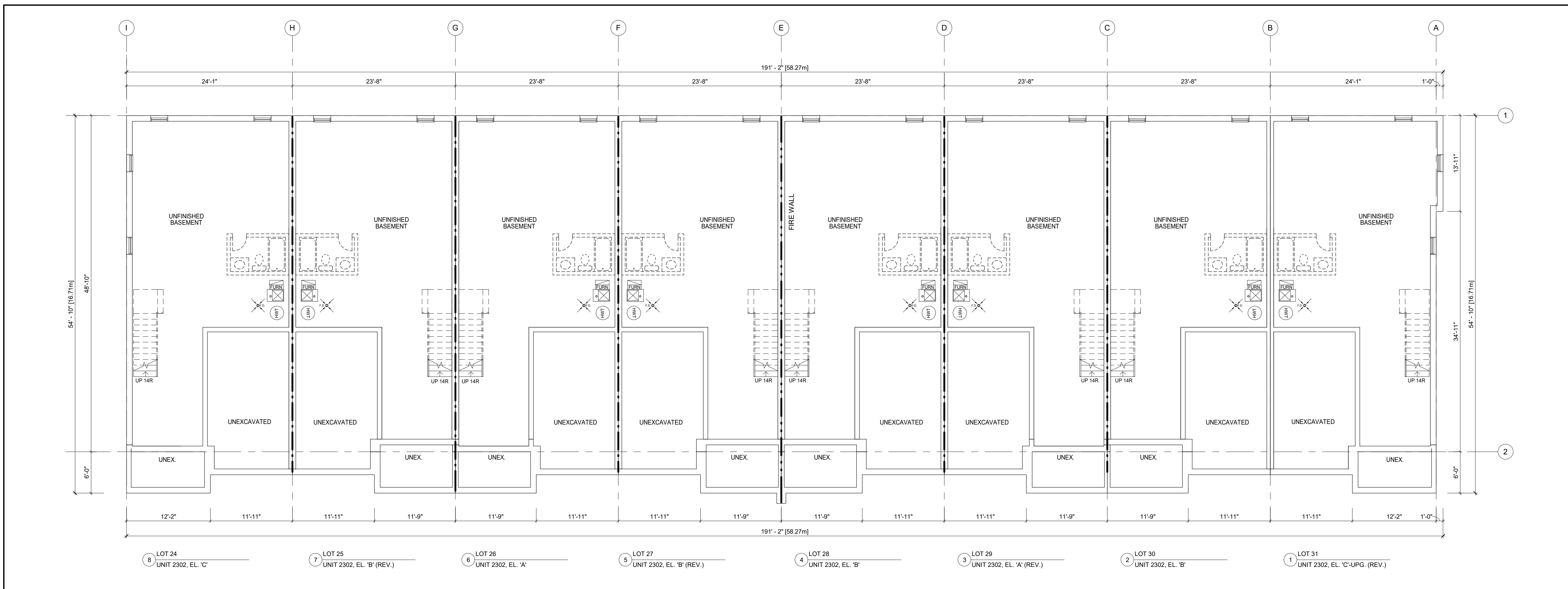
Scale: 1/8" = 1'-0"  
Drawn By: HM  
Checked By: SL

B4-3





2 GROUND FLOOR PLAN  
1/8" = 1'-0"



1 BASEMENT FLOOR PLAN  
1/8" = 1'-0"

APPLICATION NUMBER:

APPLICATION NUMBER:

NOTES:  
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**DRAWINGS ARE NOT TO BE SCALED.**

LEGEND  
--- FIRE SEPARATION: 45 MIN. FRR  
- - - FIRE SEPARATION: 1.0 HR FRR  
... FIRE SEPARATION: 2.0 HR FRR

GROSS FLOOR AREA 1521.66 sq.m. (16379 sq.ft.)  
LOT 24 (2302, EL.'C') 194.82 sq.m. (2097 sq.ft.)  
LOT 25 (2302, EL.'B') 188.96 sq.m. (2034 sq.ft.)  
LOT 26 (2302, EL.'A') 191.10 sq.m. (2057 sq.ft.)  
LOT 27 (2302, EL.'B') 188.96 sq.m. (2034 sq.ft.)  
LOT 28 (2302, EL.'B') 188.96 sq.m. (2034 sq.ft.)  
LOT 29 (2302, EL.'A') 191.10 sq.m. (2057 sq.ft.)  
LOT 30 (2302, EL.'B') 188.96 sq.m. (2034 sq.ft.)  
LOT 31 (2302, EL.'C'-UPG) 188.78 sq.m. (2032 sq.ft.)

BUILDING AREA 947.80 sq.m.(10202 sq.ft.)  
A FIREWALL IS REQUIRED IF THE BUILDING AREA IS GREATER THAN 600 m2 (6458 sq.ft) AS PER BUILDING CODE PART 9 LIMITATIONS SECTION 1.1.2.4.(1)  
\*\* DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2. IS THE EXTENT OF THE GREATEST HORIZONTAL BUILDING EXTERIOR WALLS ABOVE GRADE TO IF REQ'D THE CENTER OF THE FIREWALL (DEMISING LINE)

BUILDING AREA CALCULATION FOR FIREWALLS AS PER O.B.C. PART 1 SECTION 1.1.2.4.(1), PART 3.1. & 9.10.  
BUILDING AREA SEPERATED BY FIREWALL  
BUILDING 5 (LEFT) 473.90 sq.m.(5101 sq.ft.)  
BUILDING 5 (RIGHT) 473.90 sq.m.(5101 sq.ft.)

REVISIONS  
SUBMITTALS  
1. ISSUED FOR SPA SUBMISSION 2021.09.13 SL  
No. Description YYYYMMDD By

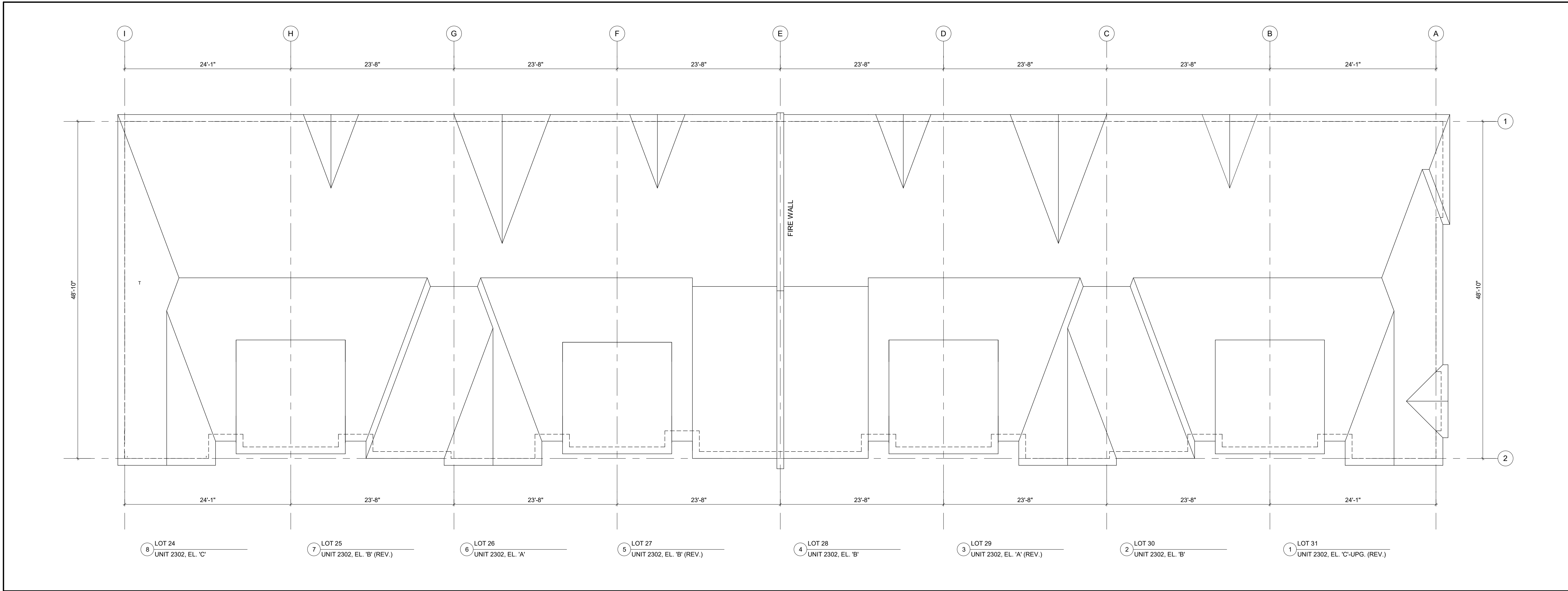
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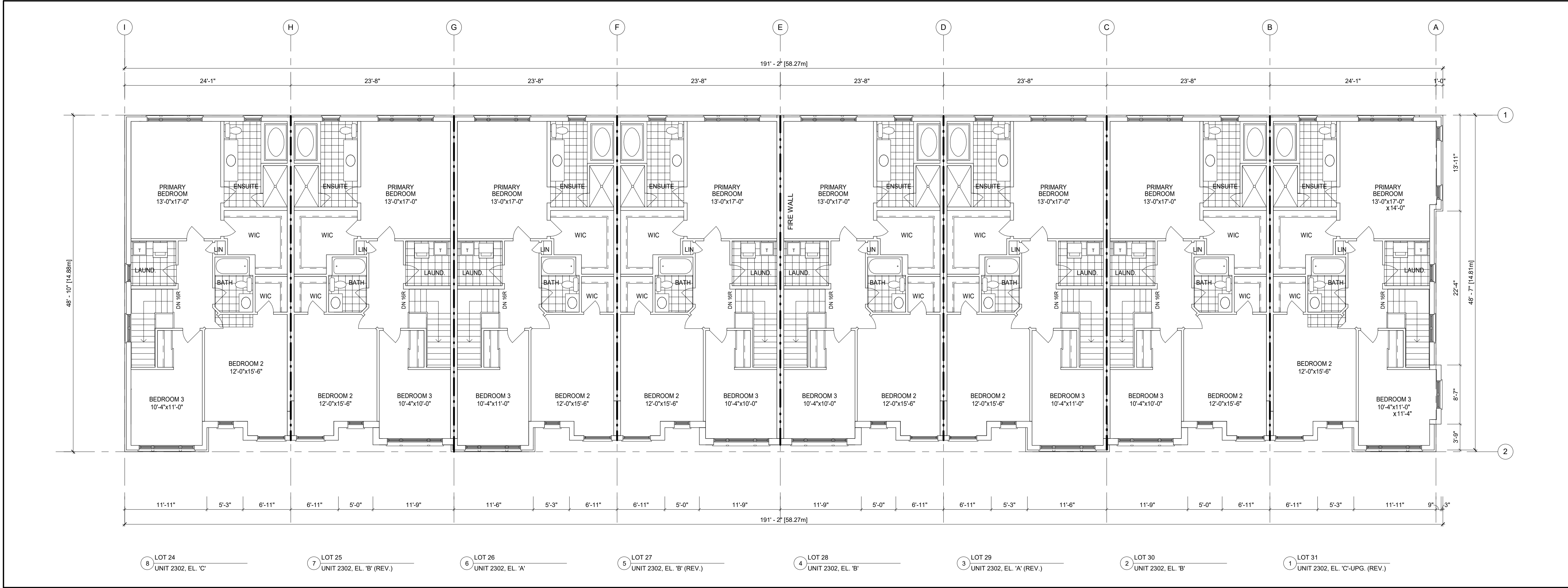
4 ARCHITECTURE INC  
WWW.4ARCHITECTURE.CA  
8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7  
T: (905) 470 7212 // F: (905) 737 7326 email: mail@4architecture.ca

MARSHALL HOMES - 220082  
COBOURG, ON.  
FLOOR PLANS  
- BUILDING 5 (TYPE 'B')  
2021.09.13  
Title As indicated Drawn By PS Checked By SL  
File Name 220082DB\_BLDG 5\_TYPE B.rvt

B5-1



2 ROOF PLAN  
1/8" = 1'-0"



1 SECOND FLOOR PLAN  
1/8" = 1'-0"

APPLICATION NUMBER:

APPLICATION NUMBER:

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LEGEND	
---	FIRE SEPARATION: 45 MIN. FRR
-.-.-	FIRE SEPARATION: 1.0 HR FRR
---	FIRE SEPARATION: 2.0 HR FRR

### GROSS FLOOR AREA

	1521.66 sq.m. (16379 sq.ft.)
LOT 24 (2302, EL.'C')	194.82 sq.m. (2097 sq.ft.)
LOT 25 (2302, EL.'B')	188.96 sq.m. (2034 sq.ft.)
LOT 26 (2302, EL.'A')	191.10 sq.m. (2057 sq.ft.)
LOT 27 (2302, EL.'B')	188.96 sq.m. (2034 sq.ft.)
LOT 28 (2302, EL.'B')	188.96 sq.m. (2034 sq.ft.)
LOT 29 (2302, EL.'A')	191.10 sq.m. (2057 sq.ft.)
LOT 30 (2302, EL.'B')	188.96 sq.m. (2034 sq.ft.)
LOT 31 (2302, EL.'C-UPG)	188.78 sq.m. (2032 sq.ft.)

### BUILDING AREA

947.80 sq.m.(10202 sq.ft.)

A FIREWALL IS REQUIRED IF THE BUILDING AREA IS GREATER THAN 600 m<sup>2</sup> (6458 sq ft) AS PER BUILDING CODE PART 9 LIMITATIONS SECTION 1.1.2.4.(1)  
\*\* DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2. IS THE EXTENT OF THE GREATEST HORIZONTAL BUILDING EXTERIOR WALLS ABOVE GRADE TO IF REQ'D THE CENTER OF THE FIREWALL (DEMISING LINE)

BUILDING AREA CALCULATION FOR FIREWALLS AS PER O.B.C. PART 1 SECTION 1.1.2.4.(1), PART 3.1. & 9.10.

### BUILDING AREA SEPARATED BY FIREWALL

BUILDING 5 (LEFT)	473.90 sq.m.(5101 sq.ft.)
BUILDING 5 (RIGHT)	473.90 sq.m.(5101 sq.ft.)

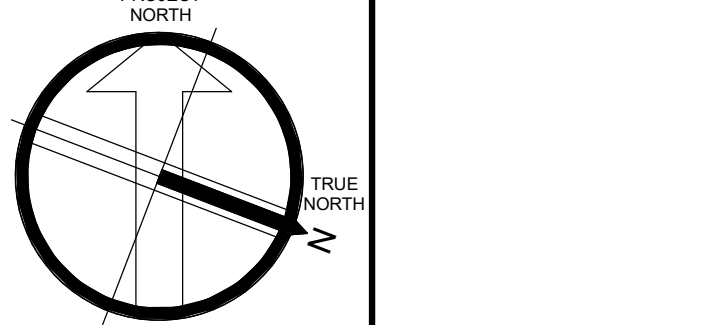
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1. ISSUED FOR SPA SUBMISSION 2021.09.13 SL

No. Description YYYY.MM.DD By.

CLIENT:



4 ARCHITECTURE INC  
WWW.4ARCHITECTURE.CA  
8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7  
T: (905) 470 7212 / F: (905) 737 7326 email: mail@4architecture.ca

MARSHALL HOMES - 220082  
COBOURG, ON.

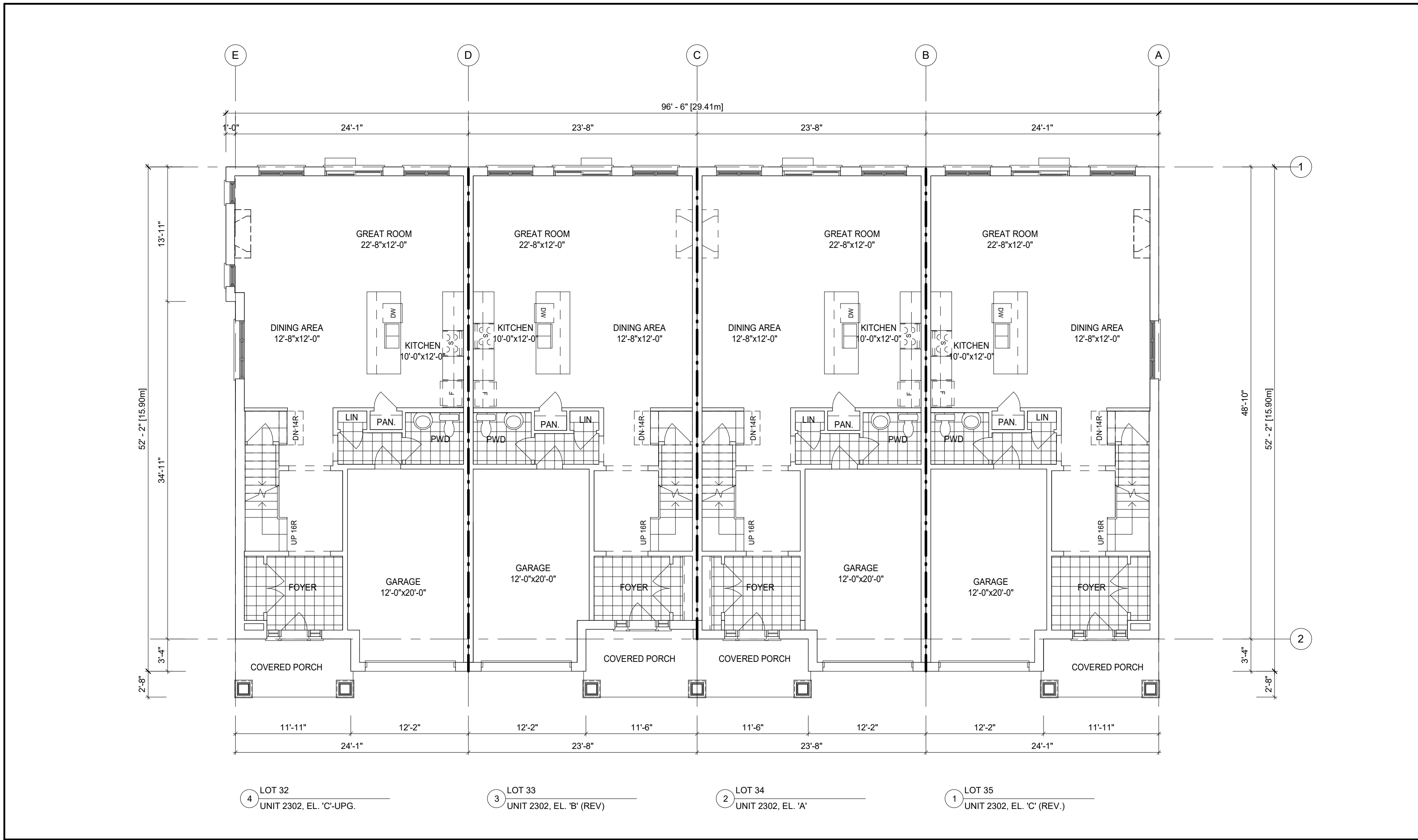
FLOOR PLAN & ROOF PLAN  
- BUILDING 5 (TYPE 'B')

2021.09.13  
As indicated Drawn By: HM Checked By: SL

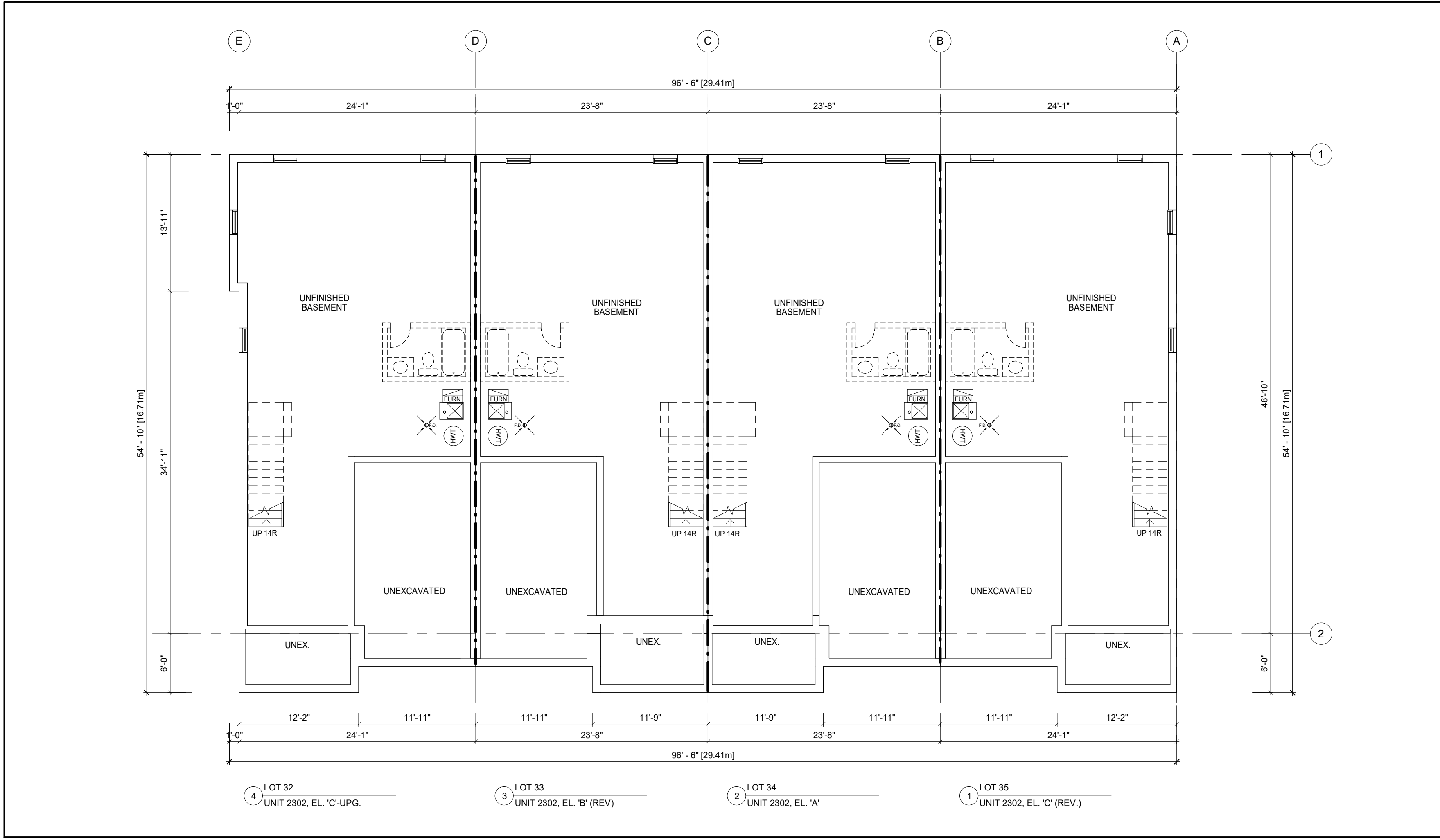
B5-2







2 GROUND FLOOR PLAN  
B6-1  
1/8" = 1'-0"



1 BASEMENT FLOOR PLAN  
B6-1  
1/8" = 1'-0"

APPLICATION NUMBER:

APPLICATION NUMBER:

NOTES:  
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LEGEND

- FIRE SEPARATION: 45 MIN. FRR
- . - FIRE SEPARATION: 1.0 HR FRR
- - - FIRE SEPARATION: 2.0 HR FRR

GROSS FLOOR AREA	772.95 sq.m. (8320 sq.ft.)
LOT 32 (2302, EL.'C'-UPG)	198.07 sq.m. (2132 sq.ft.)
LOT 33 (2302, EL.'B')	188.96 sq.m. (2034 sq.ft.)
LOT 34 (2302, EL.'A')	191.10 sq.m. (2057 sq.ft.)
LOT 35 (2302, EL.'C')	194.82 sq.m. (2097 sq.ft.)
	0.00 sq.m. (0 sq.ft.)
	0.00 sq.m. (0 sq.ft.)
	0.00 sq.m. (0 sq.ft.)

**BUILDING AREA** 477.34 sq.m.(5138 sq.ft.)

A FIREWALL IS REQUIRED IF THE BUILDING AREA IS GREATER THAN 600 m2 (6458 sq.ft.) AS PER BUILDING CODE PART 9 LIMITATIONS SECTION 1.1.2.4.(1)

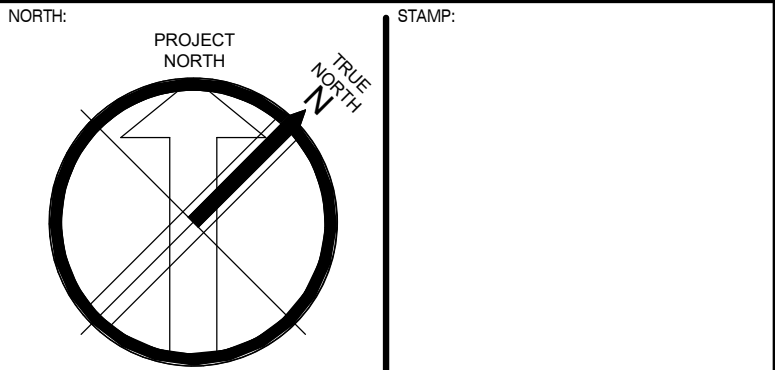
\*\* DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2. IS THE EXTENT OF THE GREATEST HORIZONTAL BUILDING EXTERIOR WALLS ABOVE GRADE TO IF REQ'D THE CENTER OF THE FIREWALL (DEMISING LINE)

BUILDING AREA CALCULATION FOR FIREWALLS AS PER O.B.C. PART 1 SECTION 1.1.2.4.(1), PART 3.1. & 9.10.	
<b>BUILDING AREA SEPERATED BY FIREWALL</b>	
N/A	0.00 sq.m. (0 sq.ft.)
N/A	0.00 sq.m. (0 sq.ft.)

REVISIONS			
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1.	ISSUED FOR SPA SUBMISSION	2021.09.13	SL
No.	Description	YYYY/MM/DD	By

CLIENT: MARSHALL HOMES



**4 ARCHITECTURE INC.**  
www.4architecture.ca  
8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7  
T: (905) 470 7212 // F: (905) 737 7326 email: mail@4architecture.ca

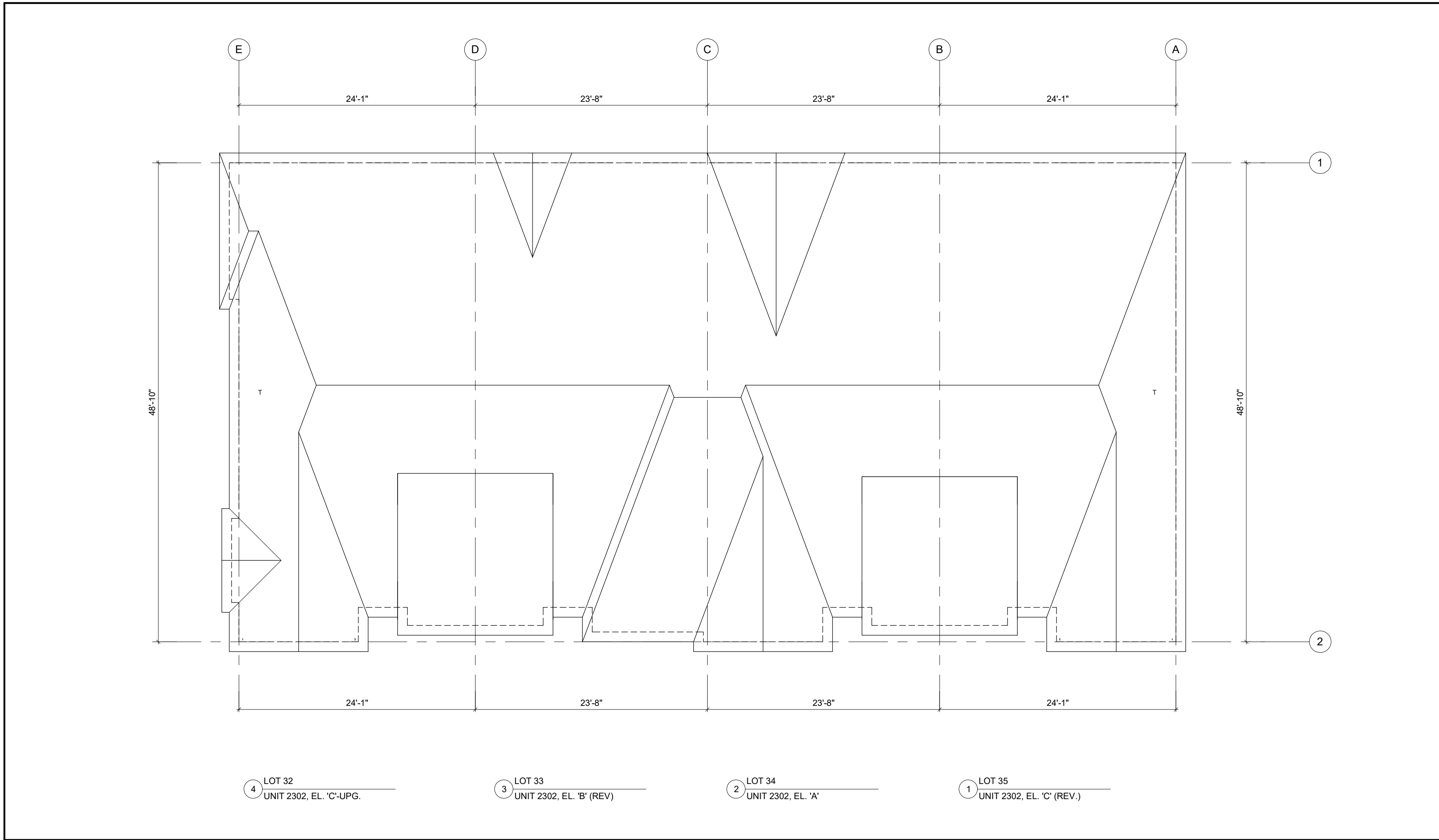
**MARSHALL HOMES - 220082**  
COBOURG, ON.

**FLOOR PLANS**  
- BUILDING 6 (TYPE 'B')

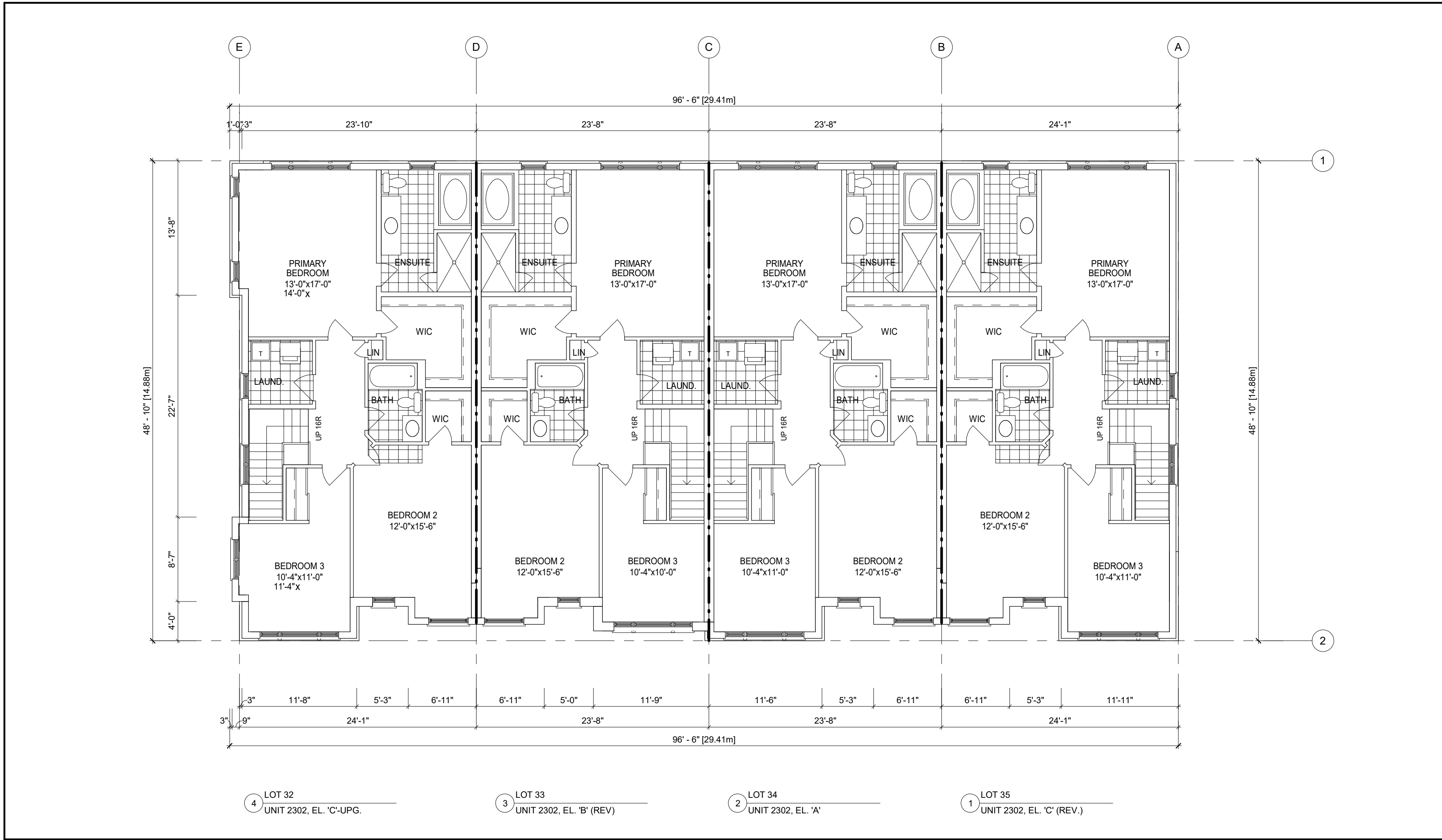
2021.09.13  
As indicated  
Drawn By: HM  
Checked By: SL  
220082DS\_BLDG 6 TYPE B.rvt

B6-1





2 ROOF PLAN  
1/8" = 1'-0"



1 SECOND FLOOR PLAN  
1/8" = 1'-0"

APPLICATION NUMBER:

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LEGEND	
---	FIRE SEPARATION: 45 MIN. FRR
- . -	FIRE SEPARATION: 1.0 HR FRR
- - -	FIRE SEPARATION: 2.0 HR FRR

GROSS FLOOR AREA		772.95 sq.m. (8320 sq.ft.)
LOT 32 (2302, EL.'C'-UPG)	198.07 sq.m. (2132 sq.ft.)	
LOT 33 (2302, EL.'B')	188.96 sq.m. (2034 sq.ft.)	
LOT 34 (2302, EL.'A')	191.10 sq.m. (2057 sq.ft.)	
LOT 35 (2302, EL.'C')	194.82 sq.m. (2097 sq.ft.)	
	0.00 sq.m. (0 sq.ft.)	
	0.00 sq.m. (0 sq.ft.)	
	0.00 sq.m. (0 sq.ft.)	
	0.00 sq.m. (0 sq.ft.)	

BUILDING AREA		477.34 sq.m.(5138 sq.ft.)
---------------	--	---------------------------

A FIREWALL IS REQUIRED IF THE BUILDING AREA IS GREATER THAN 600 m2 (6458 sq ft) AS PER BUILDING CODE PART 9 LIMITATIONS SECTION 1.1.2.4.(1)  
\*\* DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2. IS THE EXTENT OF THE GREATEST HORIZONTAL BUILDING EXTERIOR WALLS ABOVE GRADE TO IF REQ'D THE CENTER OF THE FIREWALL (DEMISING LINE)

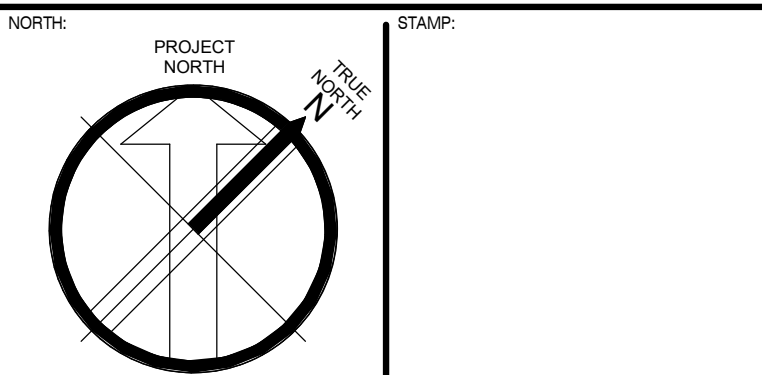
BUILDING AREA CALCULATION FOR FIREWALLS AS PER O.B.C. PART 1 SECTION 1.1.2.4.(1), PART 3.1. & 9.10.

BUILDING AREA SEPERATED BY FIREWALL	
N/A	0.00 sq.m. (0 sq.ft.)
N/A	0.00 sq.m. (0 sq.ft.)

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1.	ISSUED FOR SPA SUBMISSION
No.	Description
1.	2021.09.13 SL
2.	YYYY.MM.DD By

CLIENT: MARSHALL HOMES



4 ARCHITECTURE INC.  
8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7  
T: (905) 470 7212 / F: (905) 737 7326 email: mail@4architecture.ca

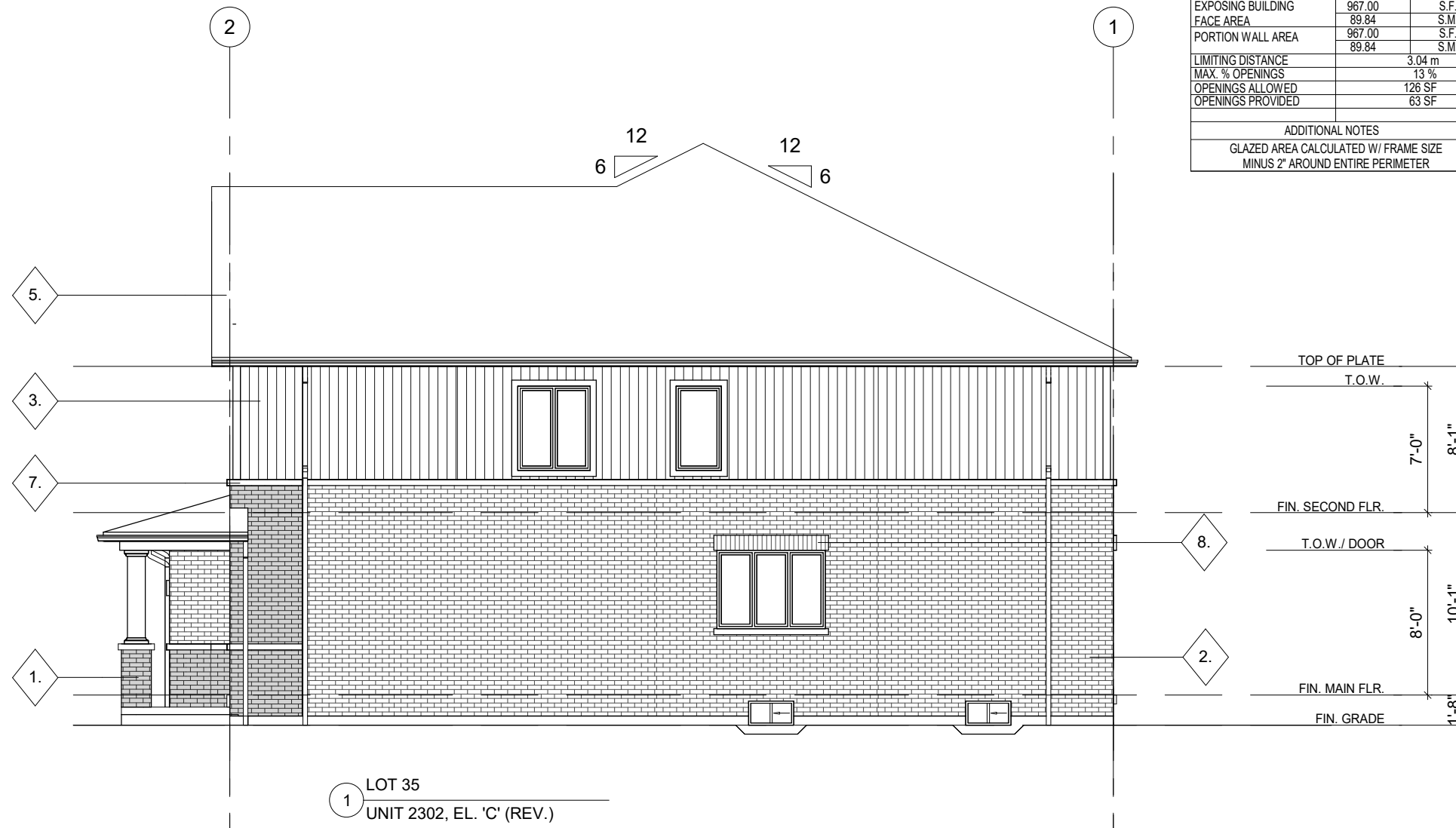
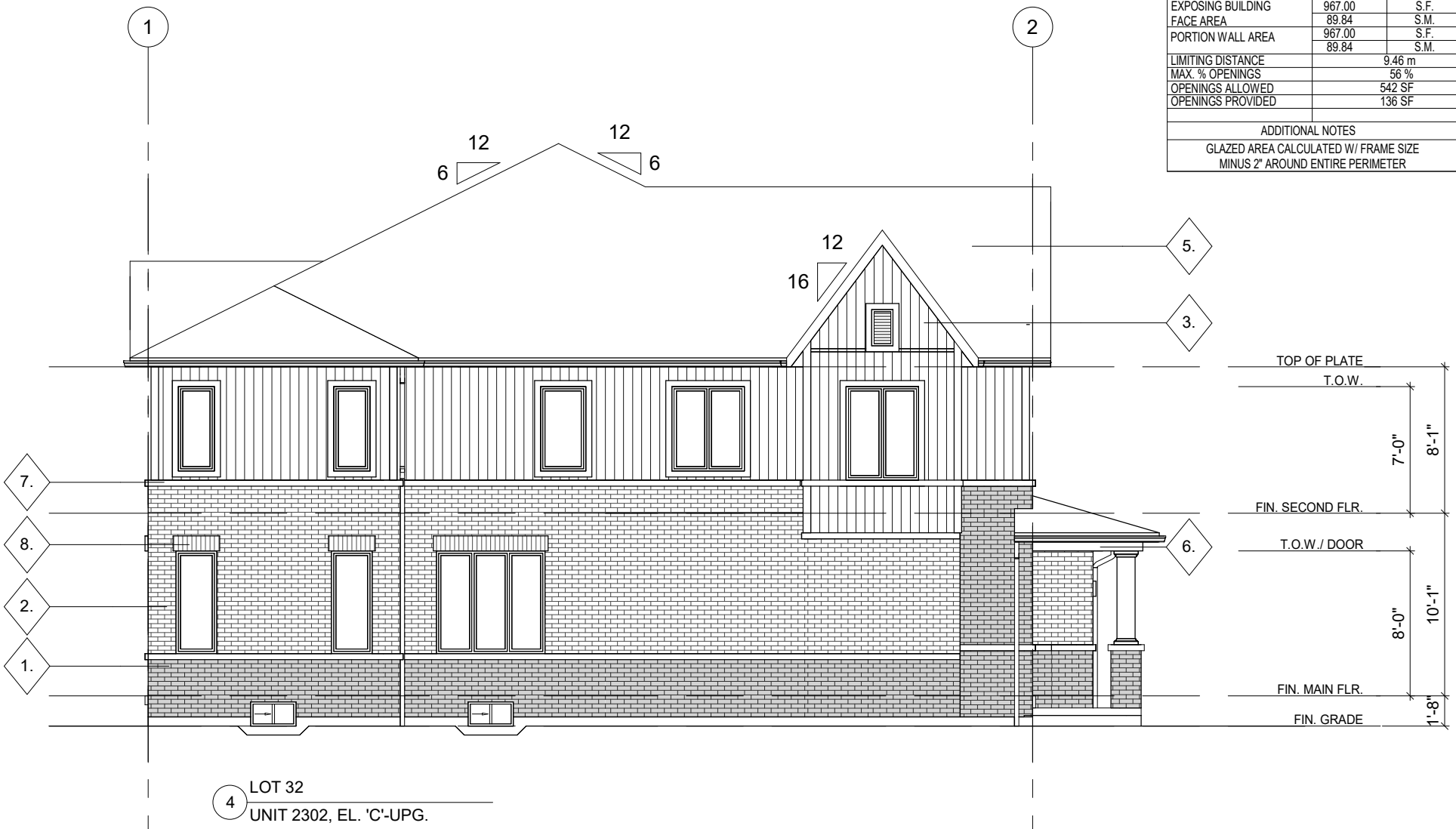
MARSHALL HOMES - 220082  
COBOURG, ON.

FLOOR PLANS  
- BUILDING 6 (TYPE 'B')

2021.09.13	As indicated	Drawn by HM	Checked by SL
220082DS_BLDG 6_TYPE B.rvt			

B6-2

EXTERIOR COLOUR SELECTION	MANUFACTURER	1	2	3
Roof	BP Mystique	Std. Towns	RL Towns	Stacked Towns
Soffit, Eavestroughs, RWL and Freize Board	Giancola Aluminum	2-Tone Black	2-Tone Black	2-Tone Black
Brick 1 (Base Brick)	Meridian Brick	Portland	Vanier	Vanier
Brick 2 (Upper Brick)	Meridian Brick	Kelowna	Portland	Kelowna
Vinyl Siding (including corner trim & capping)	Mitten	Stratus	White	Stratus
Non-combustible Siding Where required	James Hardie	colour to match Vinyl Siding		
Front Door & Garage Door	Sherwin Williams	Perle Noir SW 9154	Perle Noir SW 9154	Perle Noir SW 9154
Prefinished Exterior Trim, Panels, Exterior Posts & Door Frame	Sherwin Williams	Popular Gray SW6071	Popular Gray SW6071	Popular Gray SW6071
Windows	Newmar	Black	Black	Black
Railings	Airport Railing	Black	Black	Black



APPLICATION NUMBER:

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MATERIAL LEGEND

- 1 BRICK VENEER 1
- 2 BRICK VENEER 2
- 3 VERTICAL SIDING
- 4 HORIZONTAL SIDING
- 5 ASPHALT SHINGLES
- 6 ALUMINUM FRIEZE BOARD
- 7 PRECAST CONC. SILL / BANDING
- 8 BRICK SOLDIER COURSE
- 9 ALUMINIUM RAILING
- 10 PRIVACY SCREEN

REVISIONS		

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1. ISSUED FOR SPA SUBMISSION	2021.09.13	SL
No. Description	YYYY.MM.DD	By

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NORTH: STAMP:

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T. (905) 470 7212 / F. (905) 737 7326 email: mail@4architecture.ca

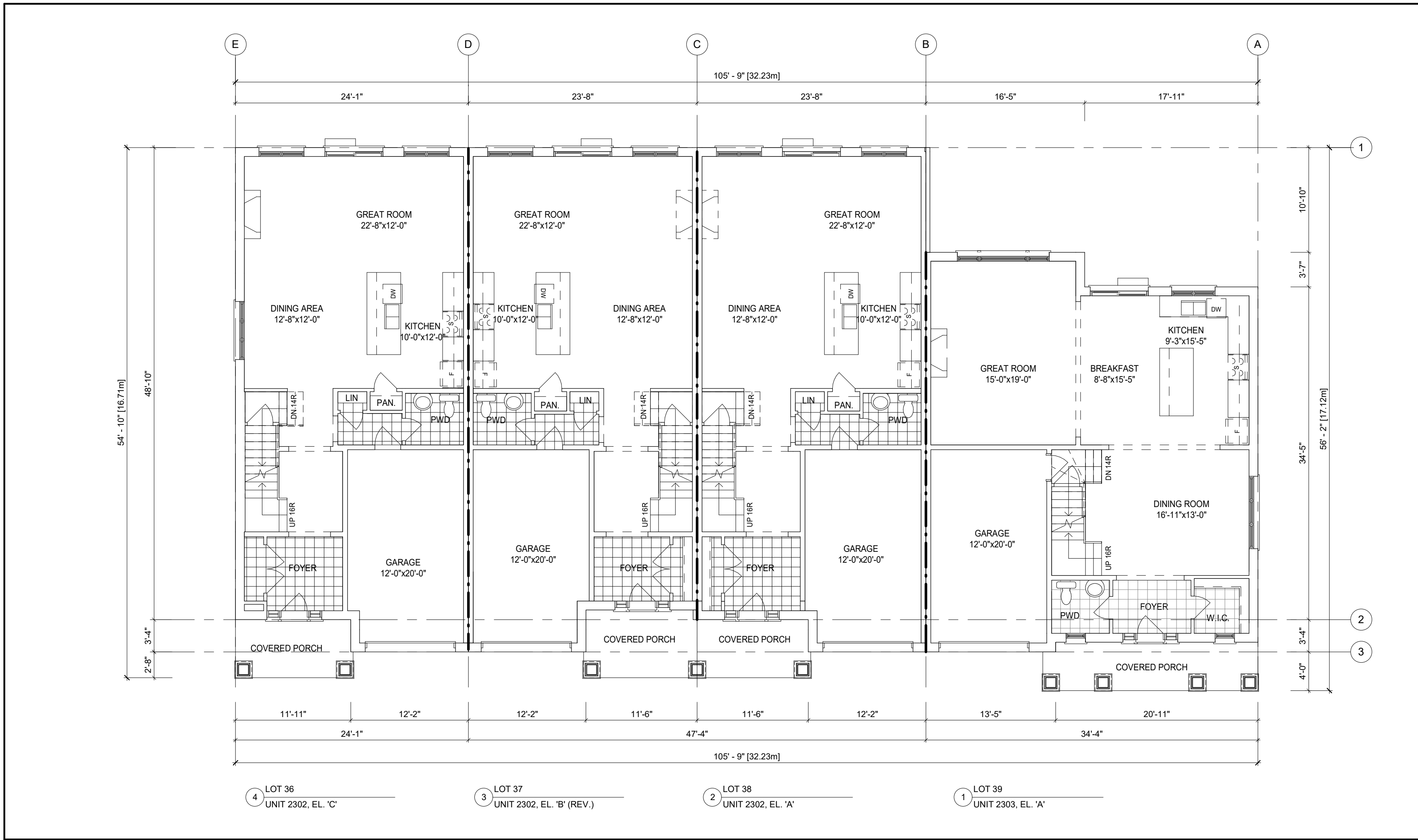
MARSHALL HOMES - 220082  
COBOURG, ON.

ELEVATIONS  
- BUILDING 6 (TYPE 'B')  
2021.09.13

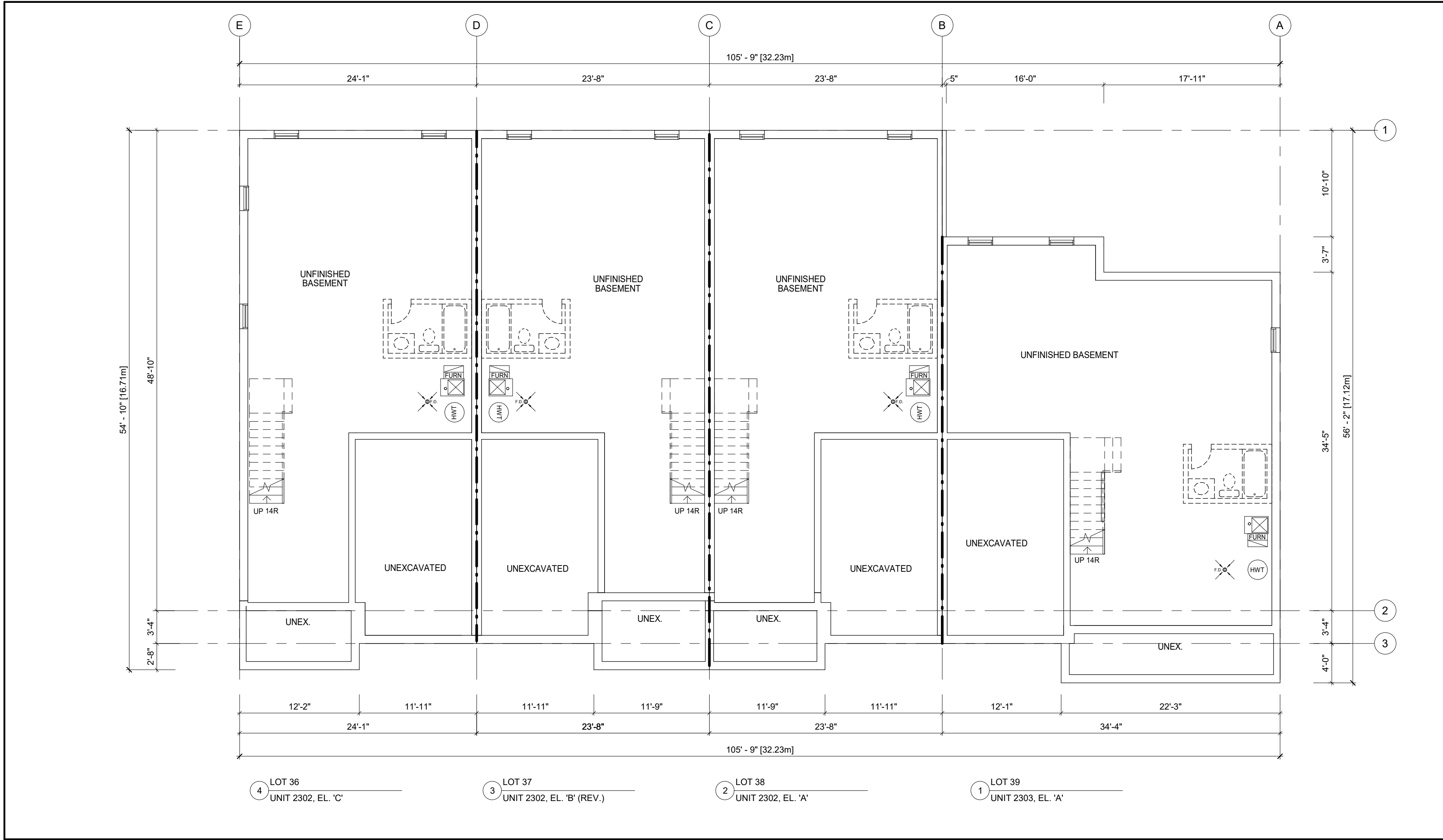
Scale 1/8" = 1'-0" Drawn By HM Checked By SL  
File Name 220082DS\_BLDG 6\_TYPE B.rvt

B6-3





2 GROUND FLOOR PLAN  
1/8" = 1'-0"



1 BASEMENT FLOOR PLAN  
1/8" = 1'-0"

APPLICATION NUMBER:

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LEGEND

- FIRE SEPARATION: 45 MIN. FRR
- FIRE SEPARATION: 1.0 HR FRR
- . - FIRE SEPARATION: 2.0 HR FRR

GROSS FLOOR AREA		792.28 sq.m. (8528 sq.ft.)
LOT 36 (2302, EL.'C')	194.82 sq.m. (2097 sq.ft.)	
LOT 37 (2302, EL.'B')	188.96 sq.m. (2034 sq.ft.)	
LOT 38 (2302, EL.'A')	191.10 sq.m. (2057 sq.ft.)	
LOT 39 (2303)	217.39 sq.m. (2340 sq.ft.)	
	0.00 sq.m. (0 sq.ft.)	
	0.00 sq.m. (0 sq.ft.)	
	0.00 sq.m. (0 sq.ft.)	
	0.00 sq.m. (0 sq.ft.)	

BUILDING AREA 485.70 sq.m.(5228 sq.ft.)

A FIREWALL IS REQUIRED IF THE BUILDING AREA IS GREATER THAN 600 m2 (6458 sq ft) AS PER BUILDING CODE PART 9 LIMITATIONS SECTION 1.1.2.4.(1)  
\*\* DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2. IS THE EXTENT OF THE GREATEST HORIZONTAL BUILDING EXTERIOR WALLS ABOVE GRADE TO IF REQ'D THE CENTER OF THE FIREWALL (DEMISING LINE)

BUILDING AREA CALCULATION FOR FIREWALLS AS PER O.B.C. PART 1 SECTION 1.1.2.4.(1), PART 3.1. & 9.10.

BUILDING AREA SEPERATED BY FIREWALL	
N/A	0.00 sq.m. (0 sq.ft.)
N/A	0.00 sq.m. (0 sq.ft.)

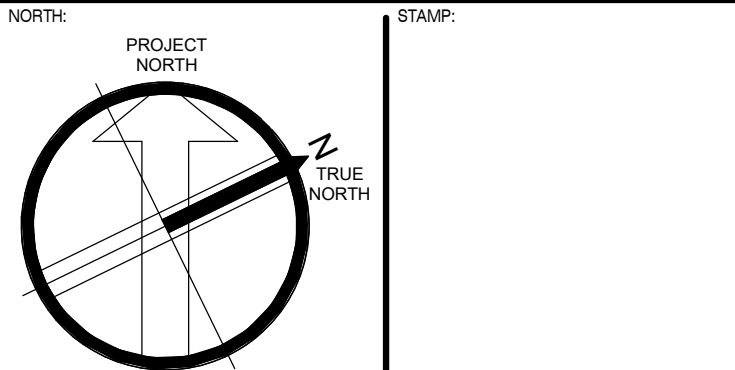
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1. ISSUED FOR SPA SUBMISSION	2021.09.13	SL
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No.	Description	YYYY/MM/DD	By
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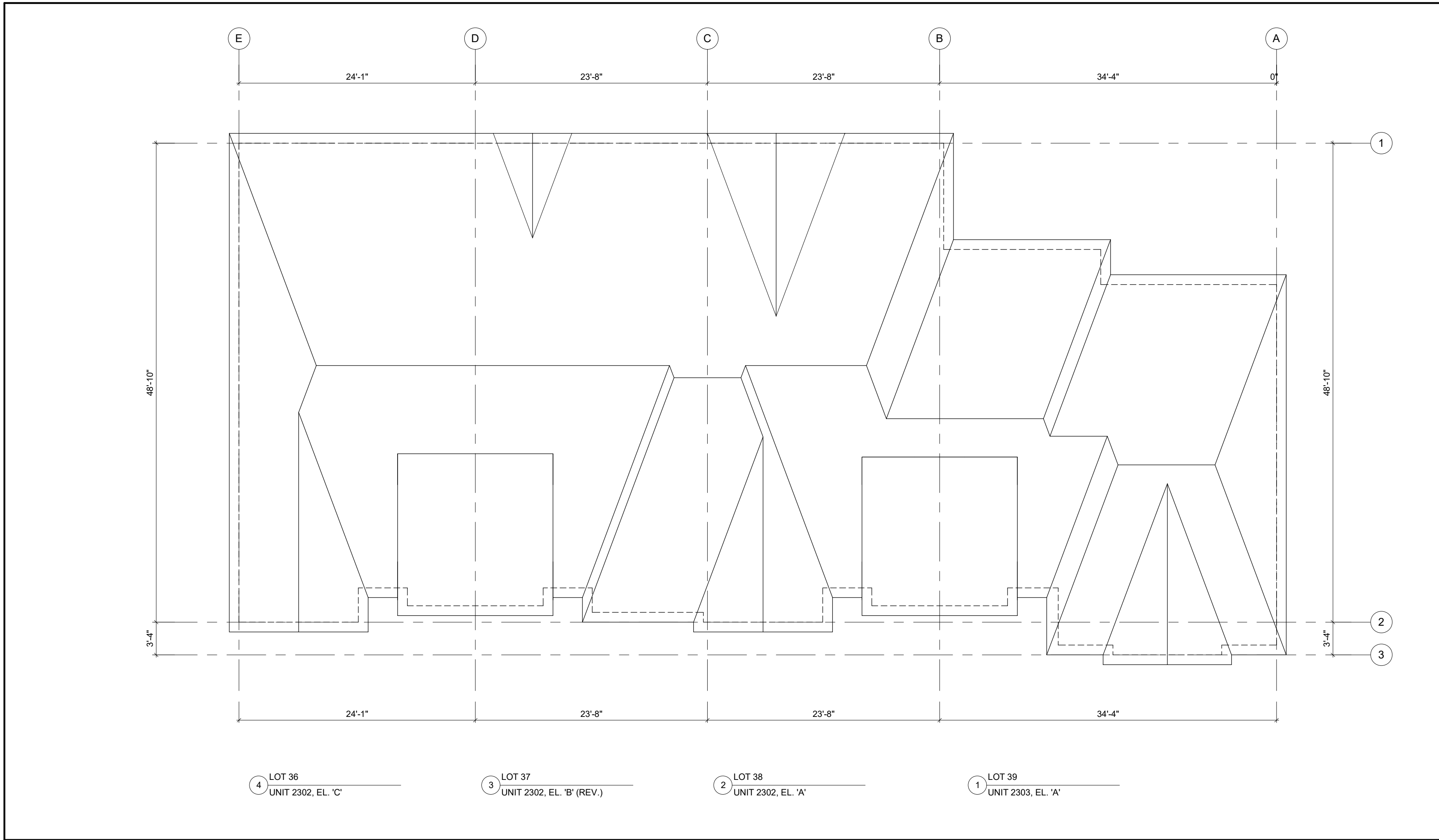
4 ARCHITECTURE INC.  
WWW.4ARCHITECTURE.CA  
8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7  
T: (905) 470 7212 // F: (905) 737 7326 email: mail@4architecture.ca

MARSHALL HOMES - 220082  
COBOURG, ON.

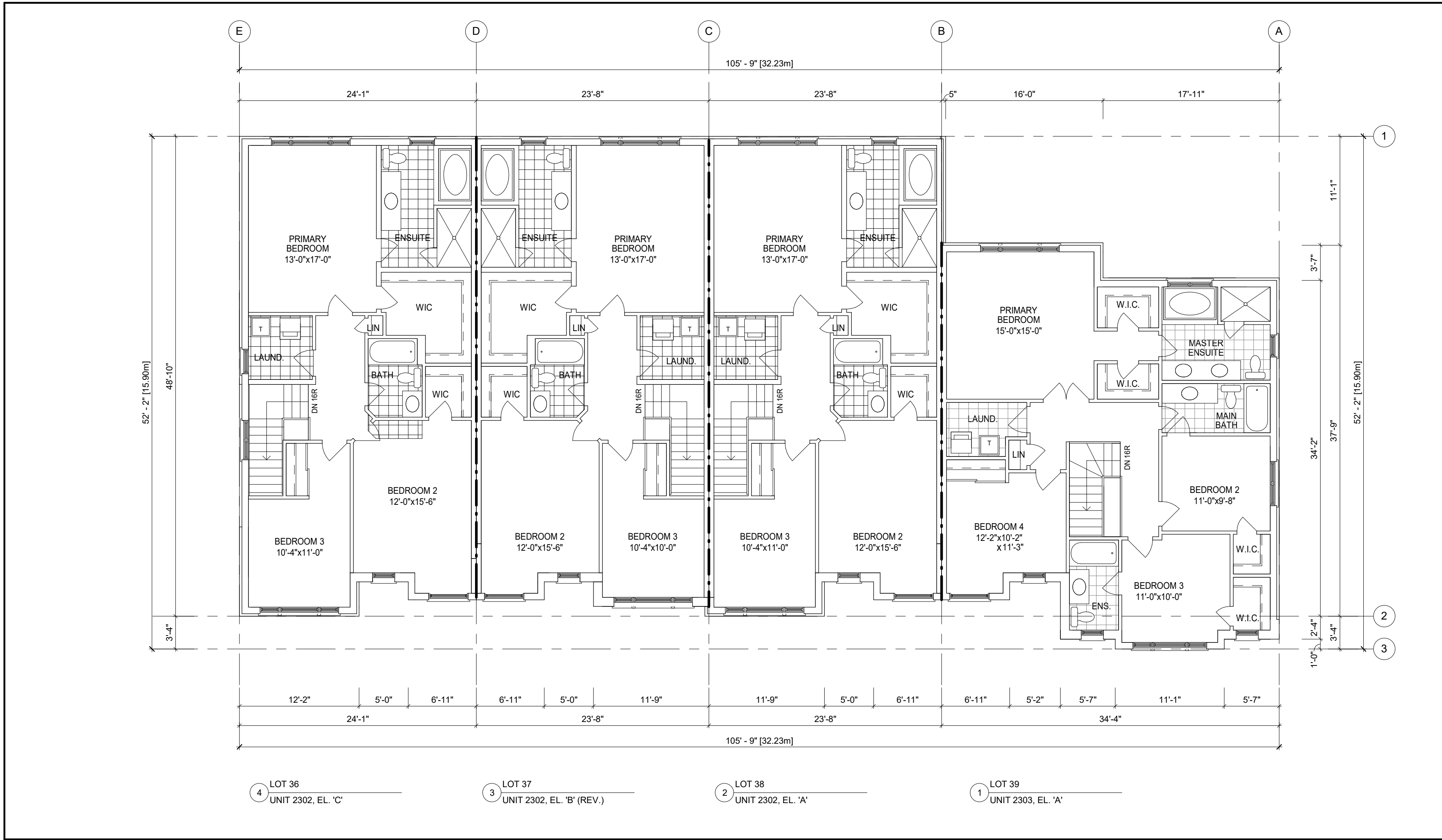
FLOOR PLANS  
BUILDING 7 (TYPE 'B')

2021.09.13		
Drawn By	HM	SL
Checked By		

B7-1



2 ROOF PLAN  
B7-2  
1/8" = 1'-0"



1 SECOND FLOOR PLAN  
B7-2  
1/8" = 1'-0"

APPLICATION NUMBER:

APPLICATION NUMBER:

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LEGEND	
---	FIRE SEPARATION: 45 MIN. FRR
- . -	FIRE SEPARATION: 1.0 HR FRR
- - -	FIRE SEPARATION: 2.0 HR FRR

**BUILDING AREA** 485.70 sq.m.(5228 sq.ft.)

A FIREWALL IS REQUIRED IF THE BUILDING AREA IS GREATER THAN 600 m2 (6458 sq ft) AS PER BUILDING CODE PART 9 LIMITATIONS SECTION 1.1.2.4.(1)  
\*\* DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2. IS THE EXTENT OF THE GREATEST HORIZONTAL BUILDING EXTERIOR WALLS ABOVE GRADE TO IF REQ'D THE CENTER OF THE FIREWALL (DEMISING LINE)

BUILDING AREA CALCULATION FOR FIREWALLS AS PER O.B.C. PART 1 SECTION 1.1.2.4.(1), PART 3.1. & 9.10.

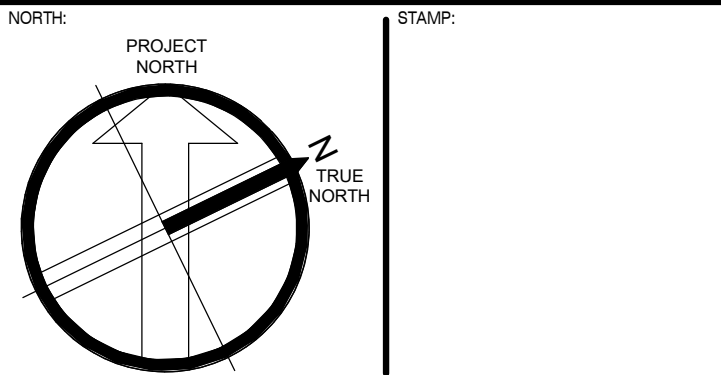
**BUILDING AREA SEPERATED BY FIREWALL**

N/A	0.00 sq.m.	(0 sq.ft.)
N/A	0.00 sq.m.	(0 sq.ft.)

REVISIONS		

SUBMITTALS		
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1.	ISSUED FOR SPA SUBMISSION	2021.09.13 SL
No.	Description	YYYY.MM.DD By.

CLIENT:



**4 ARCHITECTURE INC.**  
www.4architecture.ca  
8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7  
T: (905) 470 7212 / F: (905) 737 7326 email: mail@4architecture.ca

**MARSHALL HOMES - 220082**  
COBOURG, ON.

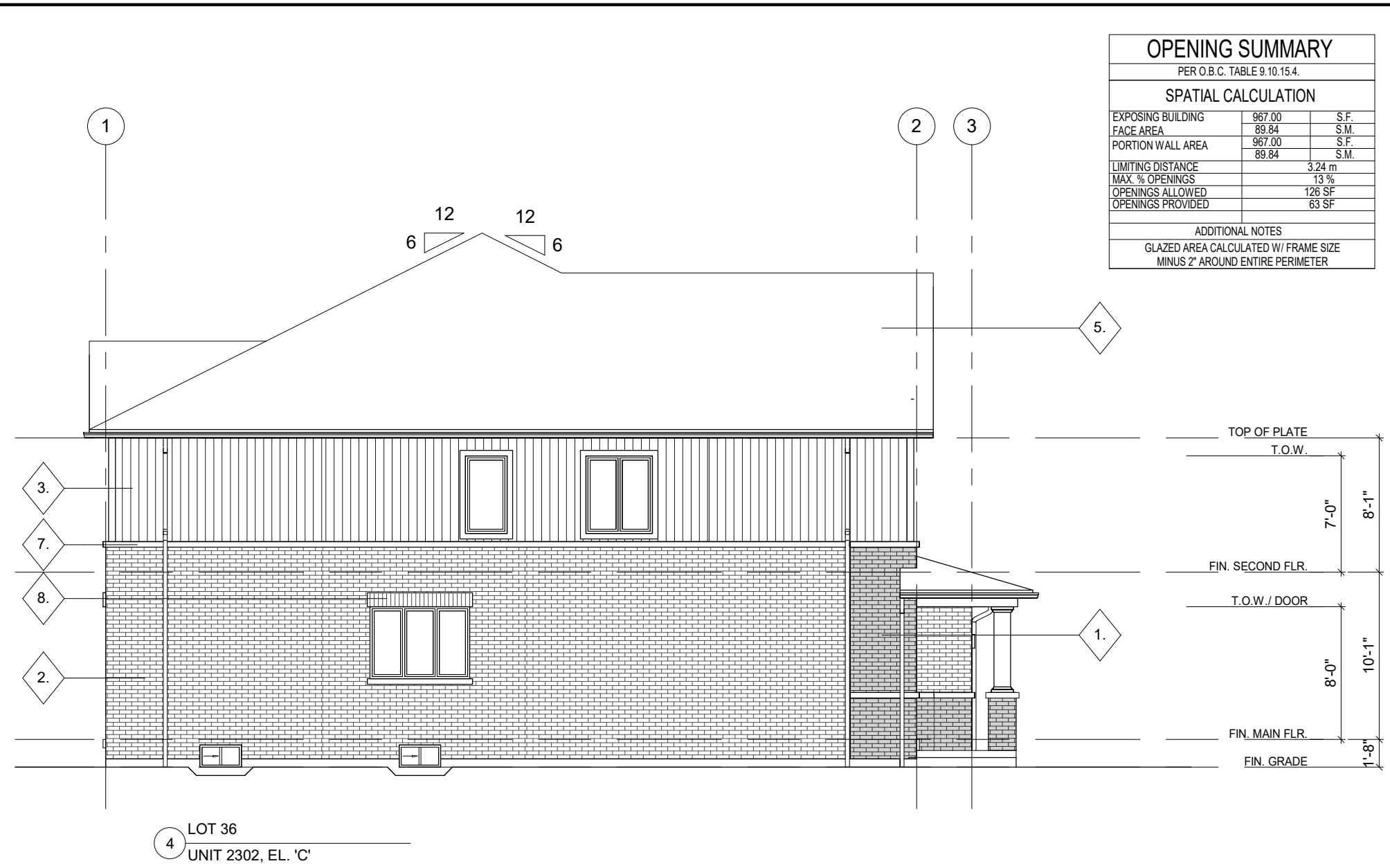
**FLOOR PLANS**  
**BUILDING 7 (TYPE 'B')**

2021.09.13	As indicated	Drawn By HM	Checked By SL
Rev. No.		220082DS_BLDG 7_TYPE B.rvt	

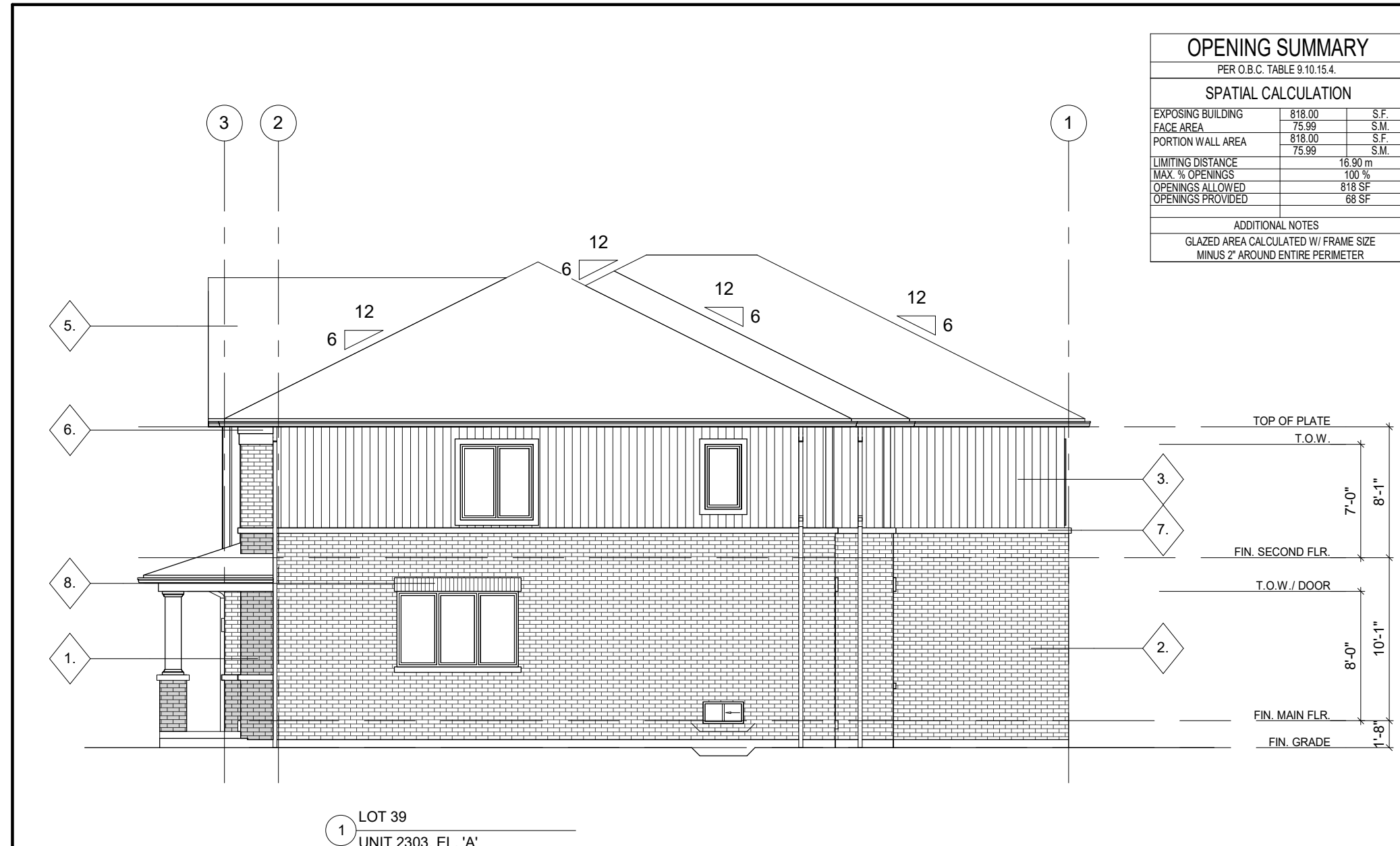
B7-2



EXTERIOR COLOUR SELECTION	MANUFACTURER	1	2	3
Roof	BP Mystique	Std. Towns	RL Towns	Stacked Towns
Soffit, Eavestroughs, RWL and Freize Board	Giancola Aluminum	2-Tone Black	2-Tone Black	2-Tone Black
Brick 1 (Base Brick)	Meridian Brick	Portland	Iron Ore	Slate
Brick 2 (Upper Brick)	Meridian Brick	Portland	Vanier	Vanier
Vinyl Siding (including corner trim & capping)	Mitten	Kelowna	Portland	Kelowna
Non-combustible Siding Where required	James Hardie	Stratus	White	Stratus
Front Door & Garage Door	Sherwin Williams	Perle Noir SW 9154	Perle Noir SW 9154	Perle Noir SW 9154
Prefinished Exterior Trim, Panels, Exterior Posts & Door Frame	Sherwin Williams	Popular Gray SW6071	Popular Gray SW6071	Popular Gray SW6071
Windows	Newmar	Black	Black	Black
Railings	Airport Railing	Black	Black	Black



4 LEFT SIDE ELEVATION  
1/8" = 1'-0"



3 RIGHT SIDE ELEVATION  
1/8" = 1'-0"



2 FRONT ELEVATION  
1/8" = 1'-0"



1 REAR ELEVATION  
1/8" = 1'-0"

APPLICATION NUMBER:

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MATERIAL LEGEND

- 1 BRICK VENEER 1
- 2 BRICK VENEER 2
- 3 VERTICAL SIDING
- 4 HORIZONTAL SIDING
- 5 ASPHALT SHINGLES
- 6 ALUMINUM FRIEZE BOARD
- 7 PRECAST CONC. SILL / BANDING
- 8 BRICK SOLDIER COURSE
- 9 ALUMINIUM RAILING
- 10 PRIVACY SCREEN

REVISIONS			
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SUBMITTALS			
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1. ISSUED FOR SPA SUBMISSION	2021.09.13	SL
No. Description	YYYY.MM.DD	By

CLIENT:	
NOTES:	
STAMP:	

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MARSHALL HOMES - 220082  
COBOURG, ON.

ELEVATIONS  
BUILDING 7 (TYPE 'B')  
2021.09.13

Scale: 1/8" = 1'-0" Drawn By: HM Checked By: SL  
File Name: 220082DS\_BLDG 7\_TYPE B.rvt

B7-3

## BUILDING 8

Firm Name: 4 ARCHITECTURE INC. Address: 8966 Woodbine Avenue, Suite 300 Markham, ON L3R 0J7 T.905.470.7121 / F.905.737.7326 / email : mail@4architecture.ca Certificate of Practice Number: The Certificate of Practice Number of Registered OAA Architect. Name of Project: Marshall Homes Project Location: Cobourg, Ontario		The architect noted above has exercised responsible control with respect to design activities. The architect's seal number is the architect's BCIN as required under the Building Code Designation System.										
Item	Ontario Building Code	Building Code Reference										
Data Matrix Part 3 or 9		References are to Division B unless noted [A] for Division A or [C] for Division C.										
1	Project Description: <input type="checkbox"/> Change of Use <input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Alteration	Part 3 1.1.2. [A] Part 9 1.1.2. [A] & 9.10.1.3.										
2	Major Occupancy(s) Group C (Residential)	3.1.2.1.(1) 9.10.2.										
3	Building Area (m2) Existing 0 sq. m. New 488 m2 Total 488 m2	1.4.1.2. [A] 1.4.1.2. [A]										
4	Gross Area Existing 0 sq. m. New 1861 m2 Total 1861 m2	1.4.1.2. [A] 1.4.1.2. [A]										
5	Number of Storeys Above Grade 3 Below Grade 1	1.4.1.2.[A]&3.2.1.1. 1.4.1.2.[A]&9.10.4										
6	Height of Building (m) 12.62 m											
7	Number of Streets / Fire Fighter Access 3	3.2.2.10.&3.2.5. 9.10.20										
8	Building Classification GROUP C (RESIDENTIAL)	3.2.2.20. - 83 9.10.2.										
9	Sprinkler System Proposed <input type="checkbox"/> Entire Building <input type="checkbox"/> Selected Compartments <input type="checkbox"/> In Lieu of Roof Rating <input type="checkbox"/> Basement <input type="checkbox"/> Not Required	3.2.2.20. - 83 3.2.2.17 INDEX 9.10.8.2 INDEX										
10	Standpipe required <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.9. N/A										
11	Fire Alarm required <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.4. 9.10.18.										
12	Water Service / Supply is Adequate <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.5.7. N/A										
13	High Building <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.6. N/A										
14	Permitted Construction Actual Construction <input checked="" type="checkbox"/> Combustible permitted <input checked="" type="checkbox"/> Combustible <input type="checkbox"/> Non-Combustible Required <input type="checkbox"/> Non-Combustible <input type="checkbox"/> Both <input type="checkbox"/> Both	3.2.2.20. - 83 9.10.6.										
15	Mezzanine(s) Area m2 N/A	3.2.1.1.(3). (8) 9.10.4.1										
16	Occupant load based on <input type="checkbox"/> m2 / person <input checked="" type="checkbox"/> Design of Building	3.1.17. 9.9.1.3.										
Total Occupant Load Ground Floor OCCUPANCY 20 Main Floor OCCUPANCY 20 Second Floor OCCUPANCY 40 Third Floor OCCUPANCY 40 Residential occupancies are based on 2 persons per bedroom for each dwelling unit Total: 80 persons												
17	Barrier Free Design <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Explain)	3.8.1.1 9.5.2.										
18	Hazardous Substances <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.3.1.2.&3.3.1.19. 9.10.1.3.(4)										
19	Required Fire Resistance Rating (FRR) Horizontal Assemblies FRR (Hours) Floors 1 HR Bt Unit; 0.75 HR within Unit Roof NO RATING REQ'D Mezzanine N/A FRR of Supporting Members Floors 1 HR Bt Unit; 0.75 HR within Unit Roof NO RATING REQ'D Mezzanine N/A	Listed Design No. or Description (SB-2) 3.2.2.20. - 83 & 3.2.1.4 9.10.8. 9.10.9.										
20	Spatial Separation - Construction of Exterior Walls	3.2.3. 9.10.14.										
FRONT	Wall	Area of EBF (m²)	L.D. (m)	LH or HL	Permitted Max % of Openings	Proposed % of Openings	FRR (Hours)	Listed Design or Description	Comb. Const.	Comb. Clad.	Non-Comb. Clad.	Non-Comb. Const.
R1	2202 C	8.21	15.21	N/A	100%	30%	0 HR	N/A	YES	YES		
R1	2202 C	12.59	15.21	N/A	100%	53%	0 HR	N/A	YES	YES		
R1	2203 C	5.16	15.21	N/A	100%	43%	0 HR	N/A	YES	YES		
R1	2204 C	45.06	15.21	N/A	100%	38%	0 HR	N/A	YES	YES		
R2	2201 A	8.21	15.21	N/A	100%	30%	0 HR	N/A	YES	YES		
R2	2202 A	12.59	15.21	N/A	100%	53%	0 HR	N/A	YES	YES		
R2	2203 A	4.26	15.21	N/A	100%	52%	0 HR	N/A	YES	YES		
R2	2204 A	43.22	15.21	N/A	100%	37%	0 HR	N/A	YES	YES		
R3	2201 A	8.21	12.83	N/A	100%	30%	0 HR	N/A	YES	YES		
R3	2202 A	12.59	12.83	N/A	100%	53%	0 HR	N/A	YES	YES		
R3	2203 A	4.26	12.83	N/A	100%	52%	0 HR	N/A	YES	YES		
R3	2204 A	43.22	12.83	N/A	100%	37%	0 HR	N/A	YES	YES		
R4	2201 A	8.21	13.53	N/A	100%	30%	0 HR	N/A	YES	YES		
R4	2202 A	12.59	13.53	N/A	100%	53%	0 HR	N/A	YES	YES		
R4	2203 A	4.26	13.53	N/A	100%	52%	0 HR	N/A	YES	YES		
R4	2204 A	43.22	13.53	N/A	100%	37%	0 HR	N/A	YES	YES		
R5	2201 B	8.18	13.28	N/A	100%	30%	0 HR	N/A	YES	YES		
R5	2202 B	12.49	13.28	N/A	100%	53%	0 HR	N/A	YES	YES		
R5	2203 B	4.06	13.28	N/A	100%	55%	0 HR	N/A	YES	YES		
R5	2204 B	45.72	13.28	N/A	100%	38%	0 HR	N/A	YES	YES		
REAR	R5	2201 B	22.53	20.01	N/A	100%	33%	0 HR	N/A	YES	YES	
R5	2202 B	21.47	20.01	N/A	100%	30%	0 HR	N/A	YES	YES		
R5	2203 B	40.81	20.01	N/A	100%	41%	0 HR	N/A	YES	YES		
R4	2201 A	22.53	20.01	N/A	100%	33%	0 HR	N/A	YES	YES		
R4	2202 A	21.47	20.01	N/A	100%	30%	0 HR	N/A	YES	YES		
R4	2203 A	40.81	20.01	N/A	100%	41%	0 HR	N/A	YES	YES		
R3	2201 A	22.53	20.01	N/A	100%	33%	0 HR	N/A	YES	YES		
R3	2202 A	21.47	20.01	N/A	100%	30%	0 HR	N/A	YES	YES		
R3	2203 A	40.81	20.01	N/A	100%	41%	0 HR	N/A	YES	YES		
R2	2201 A	22.53	20.01	N/A	100%	33%	0 HR	N/A	YES	YES		
R2	2202 A	21.47	20.01	N/A	100%	30%	0 HR	N/A	YES	YES		
R2	2203 A	40.81	20.01	N/A	100%	41%	0 HR	N/A	YES	YES		
LEFT	R1	2201 C	22.53	20.01	N/A	100%	33%	0 HR	N/A	YES	YES	
R1	2202 C	21.47	20.01	N/A	100%	30%	0 HR	N/A	YES	YES		
R1	2203 C	41.07	20.01	N/A	100%	41%	0 HR	N/A	YES	YES		
R1	2201 C	24.58	8.39	N/A	100%	2%	0 HR	N/A	YES	YES		
R1	2202 C	26.64	8.39	N/A	100%	5%	0 HR	N/A	YES	YES		
R1	2203 C	40.21	8.39	N/A	100%	9%	0 HR	N/A	YES	YES		
R1	2204 C	54.34	8.39	N/A	56%	10%	0.45 HR	N/A	YES	YES		
RIGHT	R5	2201 B	24.03	2.5	N/A	19%	4%	1 HR	N/A	YES	YES	
R5	2202 B	25.87	2.5	N/A	17%	7%	1 HR	N/A	YES	YES		
R5	2203 B - Z1	19.65	2.5	N/A	21%	10%	1 HR	N/A	YES	YES		
R5	2203 B - Z2	36.01	2.5	N/A	15%	13%	1 HR	N/A	YES	YES		
R5	2204 B	38.22	2.5	N/A	15%	9%	1 HR	N/A	YES	YES		
21	Washroom Fixtures = 1 MIN. per Suite											
22	Means of Egress, Access to Exits & Exit Analysis	Explain: Public Stairs: Rise = 180mm max. Run = 280mm max. Private Stairs: Rise = 200mm max. Run = 210mm min.										9.9

2 MAIN FLOOR PLAN  
1/8" = 1'-0"1 GROUND FLOOR PLAN  
1/8" = 1'-0"

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## LEGEND

- FIRE SEPARATION: 45 MIN. FRR
- - - FIRE SEPARATION: 1.0 HR FRR
- ... FIRE SEPARATION: 2.0 HR FRR

GROSS FLOOR AREA 1861.31 sq.m.  
(20035 sq.ft.)GROUND FLOOR AREA 487.00 sq.m. (5242 sq.ft.)  
MAIN FLOOR AREA 450.86 sq.m. (4853 sq.ft.)  
SECOND FLOOR AREA 466.84 sq.m. (5025 sq.ft.)  
THIRD FLOOR AREA 465.91 sq.m. (5015 sq.ft.)

BUILDING AREA 488.39 sq.m. (5257 sq.ft.)

A FIREWALL IS REQUIRED IF THE BUILDING AREA IS GREATER THAN 600 m2 (6458 sq ft) AS PER BUILDING CODE PART 9 LIMITATIONS SECTION 1.1.2.4.(1)

\*\* DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2. IS THE EXTENT OF THE GREATEST HORIZONTAL BUILDING EXTERIOR WALLS ABOVE GRADE TO IF REQ'D THE CENTER OF THE FIREWALL (DEMISING LINE)

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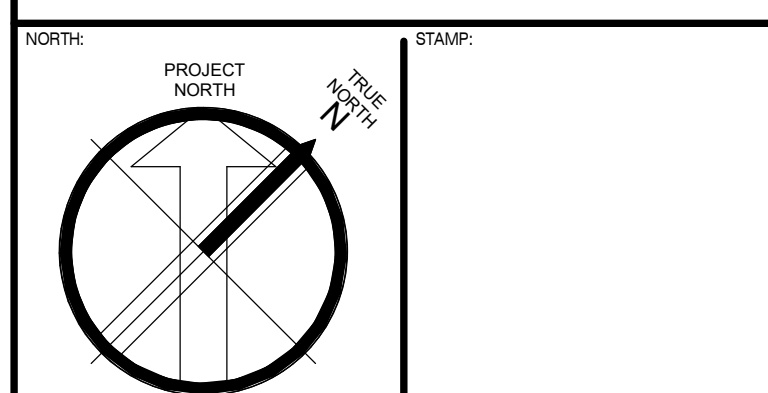
N/A 0.00 sq.m. (0 sq.ft.)  
N/A 0.00 sq.m. (0 sq.ft.)

REVISIONS	
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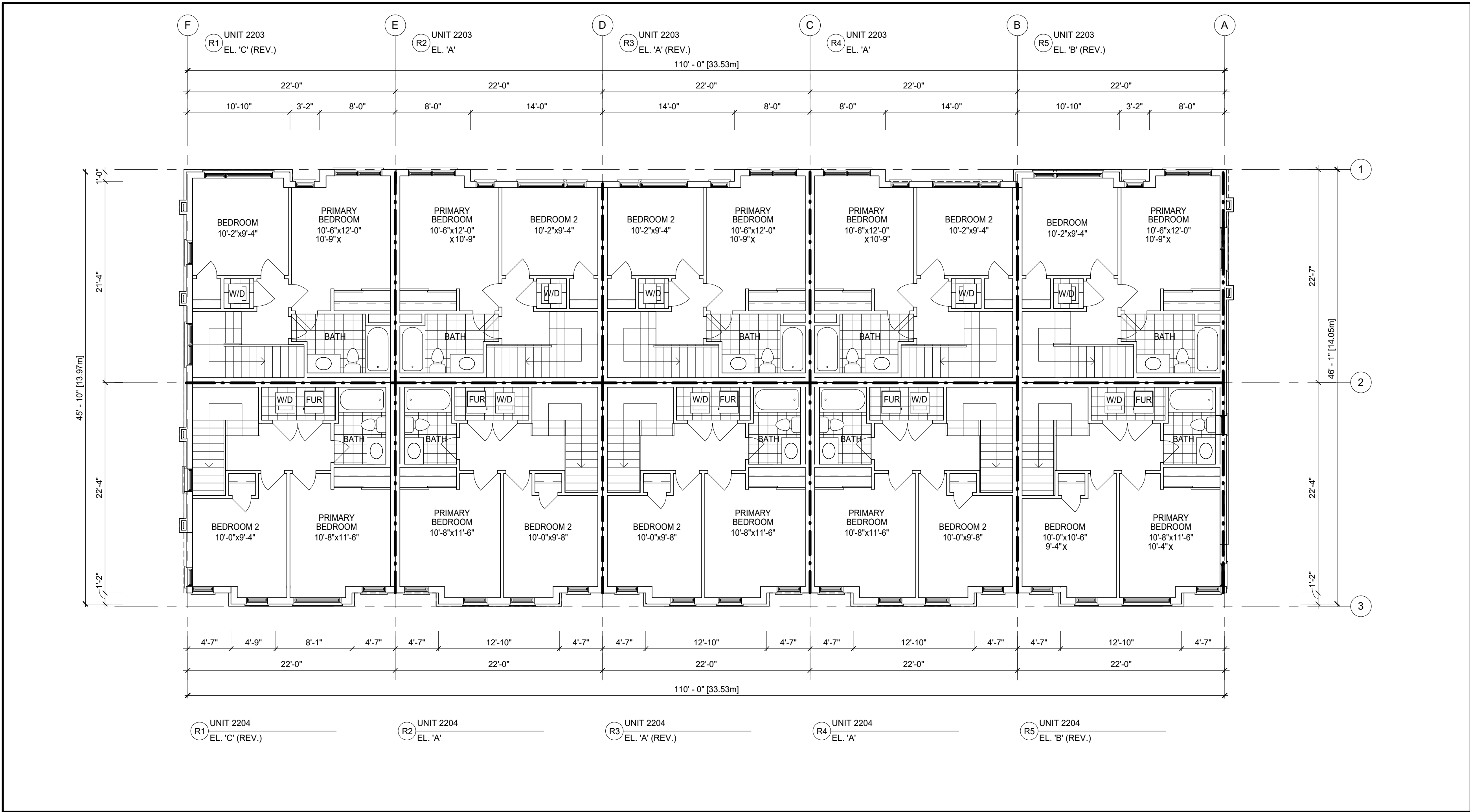
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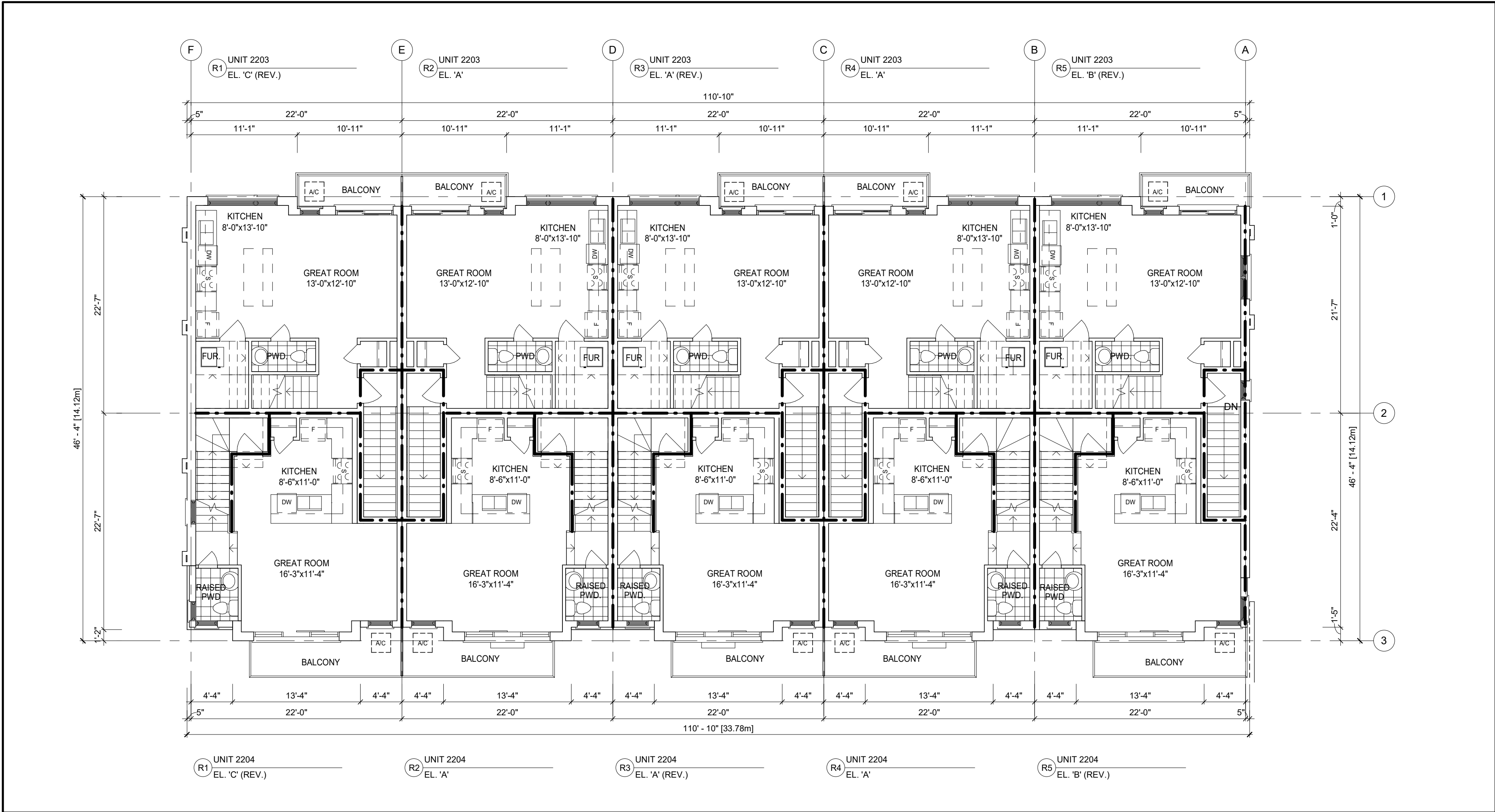
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T. (905) 470 7212 / F. (905) 737 7326 email: mail@4architecture.caMARSHALL HOMES - 220082  
COBOURG, ONFLOOR PLANS  
BUILDING 82021.09.13  
As indicated HM SL

B8-1





2 THIRD FLOOR PLAN  
1/8" = 1'-0"



1 SECOND FLOOR PLAN  
1/8" = 1'-0"

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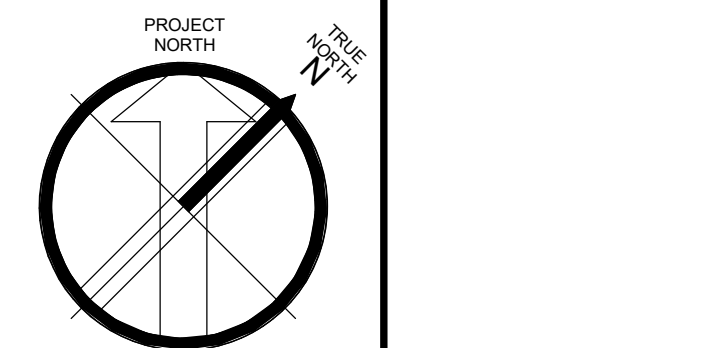
N/A	0.00 sq.m. (0 sq.ft.)
N/A	0.00 sq.m. (0 sq.ft.)

REVISIONS		
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1	ISSUED FOR SPA SUBMISSION	2021.09.13	SL
No.	Description	YYYY.MM.DD	By

CLIENT: MARSHALL HOMES



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MARSHALL HOMES - 220082  
COBOURG, ON

FLOOR PLANS  
BUILDING 8

2021.09.13

By: As indicated Drawn By: HM Checked By: SL

File Name: 220082DS\_BLDG 8\_TYPE C.rvt

B8-2

APPLICATION NUMBER:

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DRAWINGS ARE NOT TO BE SCALED.

LEGEND

- FIRE SEPARATION: 45 MIN. FRR  
- . - - - FIRE SEPARATION: 1.0 HR FRR  
- . . - - FIRE SEPARATION: 2.0 HR FRR

**GROSS FLOOR AREA** 1861.31 sq.m.  
(20035 sq.ft.)

GROUND FLOOR AREA	487.00 sq.m. (5242 sq.ft.)
MAIN FLOOR AREA	450.86 sq.m. (4853 sq.ft.)
SECOND FLOOR AREA	466.84 sq.m. (5025 sq.ft.)
THIRD FLOOR AREA	465.91 sq.m. (5015 sq.ft.)

**BUILDING AREA** 488.39 sq.m.(5257 sq.ft.)

A FIREWALL IS REQUIRED IF THE BUILDING AREA IS GREATER THAN 600 m2 (6458 sq ft) AS PER BUILDING CODE PART 9 LIMITATIONS SECTION 1.1.2.4.(1)  
\*\* DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2, IS THE EXTENT OF THE GREATEST HORIZONTAL BUILDING EXTERIOR WALLS ABOVE GRADE TO IF REQ'D THE CENTER OF THE FIREWALL (DEMISING LINE)

BUILDING AREA CALCULATION FOR FIREWALLS AS PER O.B.C. PART 1 SECTION 1.1.2.4.(1), PART 3.1. & 9.10.

**BUILDING AREA SEPERATED BY FIREWALL**

N/A	0.00 sq.m. (0 sq.ft.)
N/A	0.00 sq.m. (0 sq.ft.)

REVISIONS		
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1.	ISSUED FOR SPA SUBMISSION	2021.09.13 SL
No.	Description	YYYY.MM.DD By

CLIENT: MARSHALL HOMES

NORTH: STAMP:

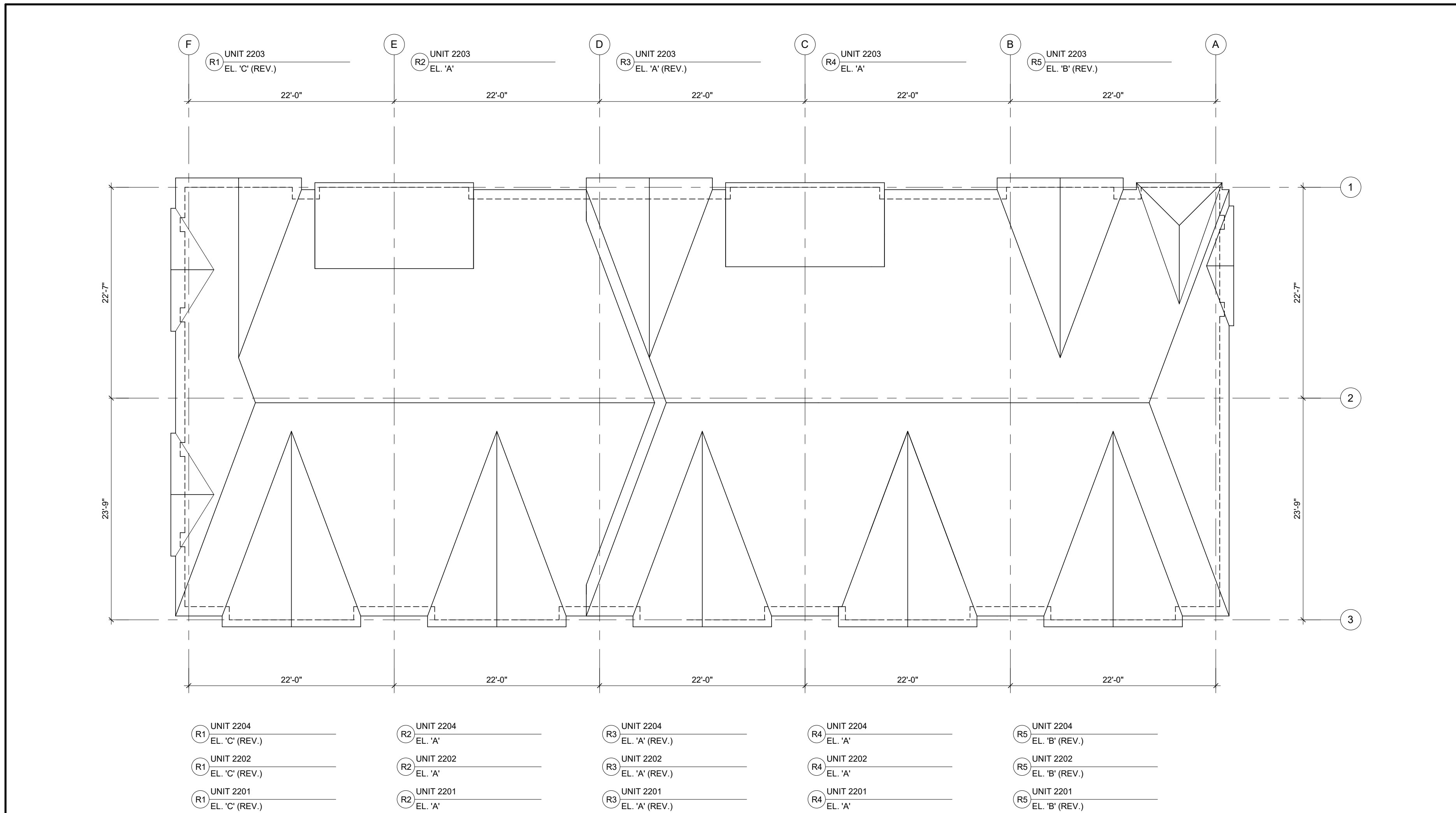
**4 ARCHITECTURE INC.**  
WWW.4ARCHITECTURE.CA  
8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7  
T: (905) 470 7212 / F: (905) 737 7326 email: mail@4architecture.ca

**MARSHALL HOMES - 220082**  
COBOURG, ON

**ROOF PLANS**  
**BUILDING 8**

2021.09.13  
By: As indicated Drawn By: HMI Checked By: SL  
To: 220082DS\_BLDG 8\_TYPE C.rvt

B8-3



1 ROOF PLAN  
B8-3 1/8" = 1'-0"



EXTERIOR COLOUR SELECTION	MANUFACTURER	1 Std. Towns	2 RL Towns	3 Stacked Towns
Roof	BP Mystique	2-Tone Black	2-Tone Black	2-Tone Black
Soffit, Eavestroughs, RWL and Frieze Board	Giancola Aluminum	Slate	Iron Ore	Slate
Brick 1 (Base Brick)	Meridian Brick	Portland	Vanier	Vanier
Brick 2 (Upper Brick)	Meridian Brick	Kelowna	Portland	Kelowna
Vinyl Siding, (including corner trim & capping)	Mitten	Stratus	White	Stratus
Non-combustible Siding Where required	James Hardie	colour to match Vinyl Siding		
Front Door & Garage Door	Sherwin Williams	Perle Noir SW 9154	Perle Noir SW 9154	Perle Noir SW 9154
Prefinished Exterior Trim, Panels, Exterior Posts & Door Frame	Sherwin Williams	Popular Gray SW6071	Popular Gray SW6071	Popular Gray SW6071
Windows	Newmar	Black	Black	Black
Railings	Airport Railing	Black	Black	Black



2 FRONT ELEVATION  
1/8" = 1'-0"



1 REAR ELEVATION  
1/8" = 1'-0"

APPLICATION NUMBER:

APPLICATION NUMBER:

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MATERIAL LEGEND

- 1 BRICK VENEER 1
- 2 BRICK VENEER 2
- 3 VERTICAL SIDING
- 4 HORIZONTAL SIDING
- 5 ASPHALT SHINGLES
- 6 ALUMINUM FRIEZE BOARD
- 7 PRECAST CONC. SILL / BANDING
- 8 BRICK SOLDIER COURSE
- 9 ALUMINIUM RAILING
- 10 PRIVACY SCREEN

REVISIONS			
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CLIENT:	ISSUED FOR SPA SUBMISSION	2021.09.13	SL
No.	Description	YYYY.MM.DD	By

CLIENT:	MARSHALL HOMES
NORTH:	STAMP:

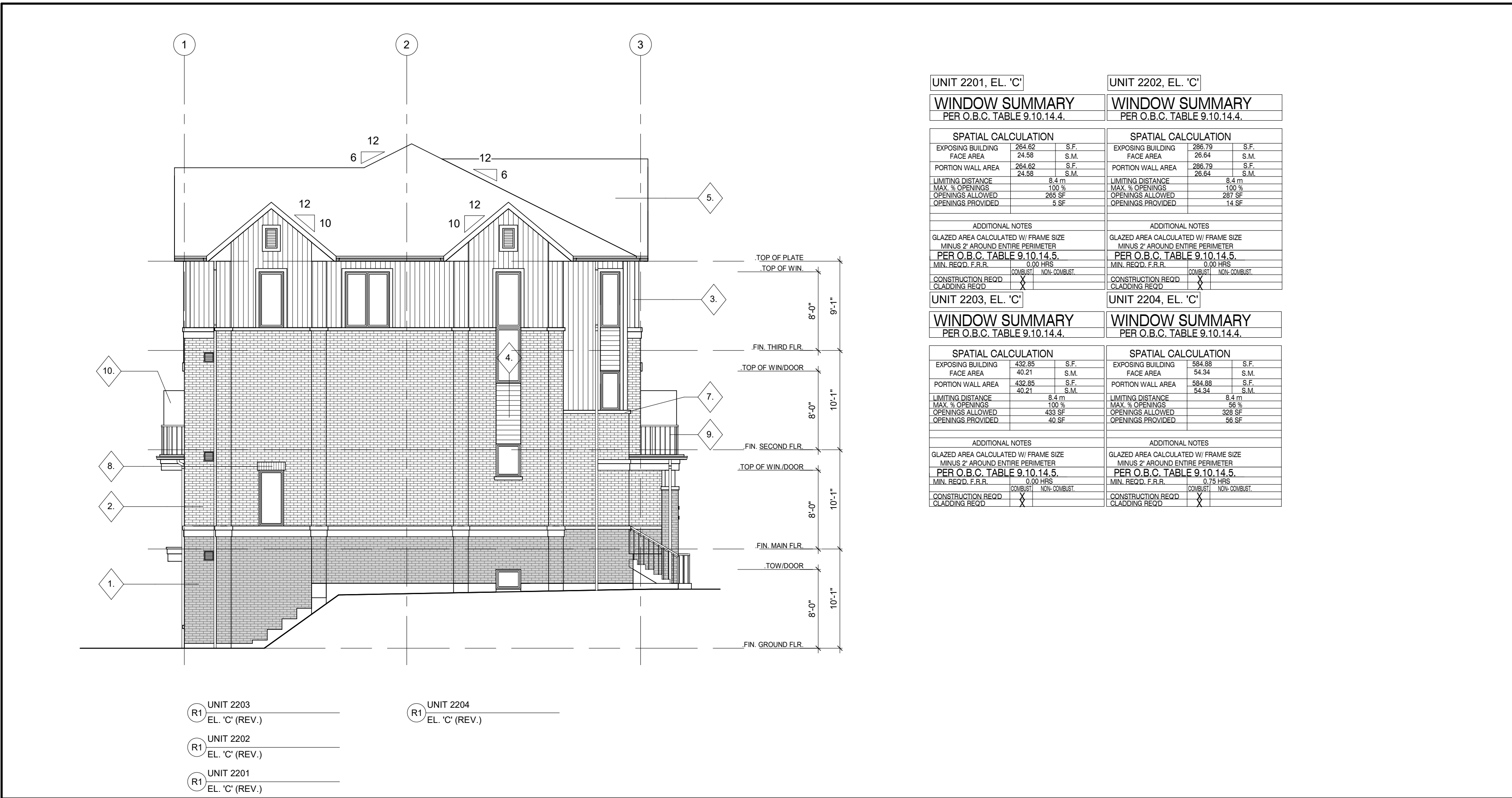
4 ARCHITECTURE INC.	WWW.4ARCHITECTURE.CA
8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7	T: (905) 470 7212 / F: (905) 737 7326 email: mail@4architecture.ca

MARSHALL HOMES - 220082	COBOURG, ON
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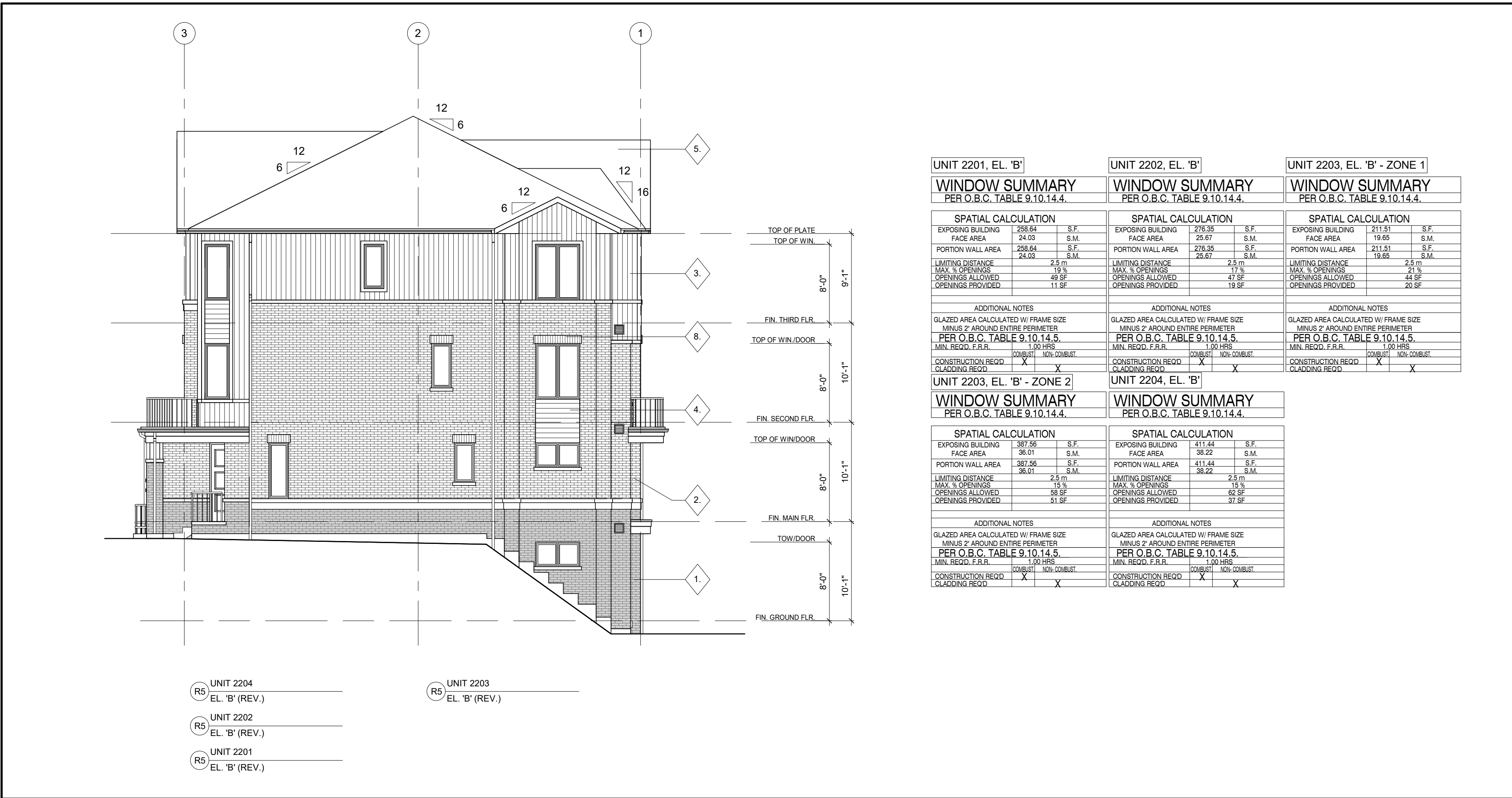
ELEVATIONS	BUILDING 8
2021.09.13	1/8" = 1'-0"

Drawn By	HM	Checked By	SL
File Name	220082DS_BLDG 8_TYPE C.rvt		

B8-4



2 LEFT SIDE ELEVATION  
1/8" = 1'-0"



1 RIGHT SIDE ELEVATION  
1/8" = 1'-0"

APPLICATION NUMBER:

APPLICATION NUMBER:

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MATERIAL LEGEND

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- 2 BRICK VENEER 2
- 3 VERTICAL SIDING
- 4 HORIZONTAL SIDING
- 5 ASPHALT SHINGLES
- 6 ALUMINUM FRIEZE BOARD
- 7 PRECAST CONC. SILL / BANDING
- 8 BRICK SOLDIER COURSE
- 9 ALUMINIUM RAILING
- 10 PRIVACY SCREEN

REVISIONS		
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1	ISSUED FOR SPA SUBMISSION	2021.09.13	SL
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T: (905) 470 7212 / F: (905) 737 7326 email: mail@4architecture.ca

MARSHALL HOMES - 220082  
COBOURG, ON

ELEVATIONS

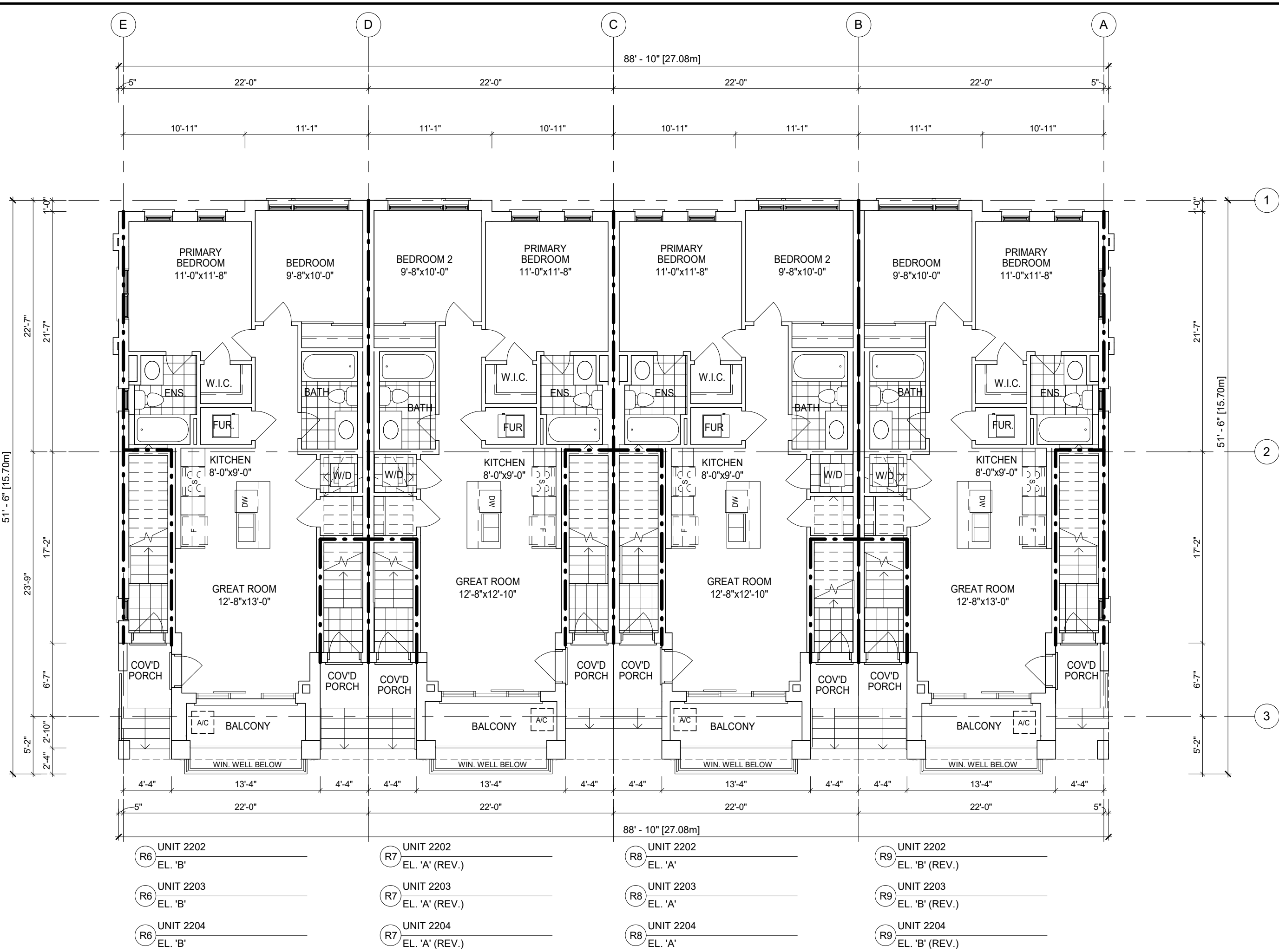
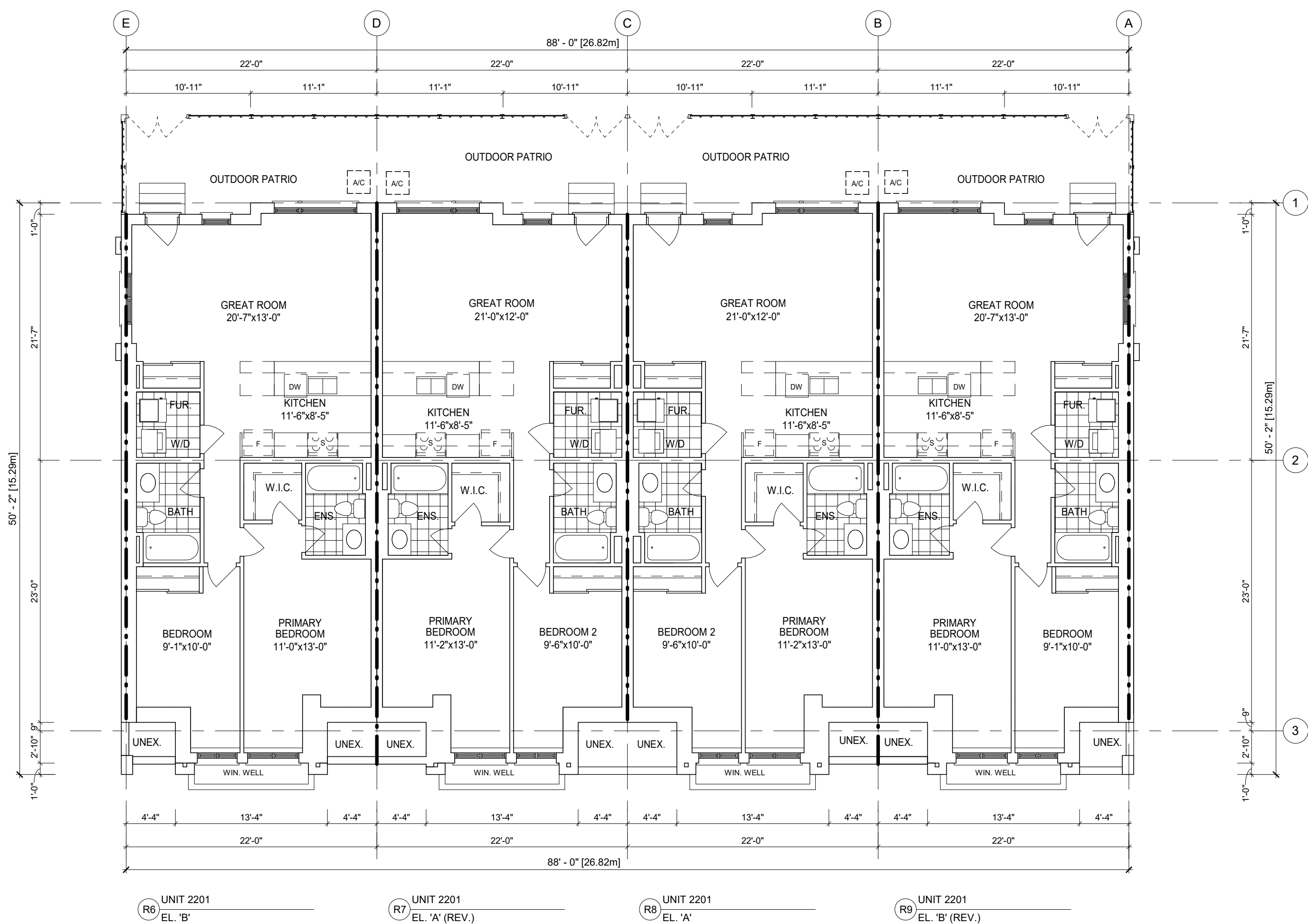
2021.09.13  
1/8" = 1'-0"  
Drawn By: HM  
Checked By: SL

B8-5



## BUILDING 9

Firm Name: 4 ARCHITECTURE INC. Address: 8966 Woodbine Avenue, Suite 300 Markham, ON L3R 0J7 T.905.470.7121 / F.905.737.7326 / email: mail@4architecture.ca		The architect noted above has exercised responsible control with respect to design activities. The architect's seal number is the architect's BCIN as required under the Building Code Designation System.	
Certificate of Practice Number:			
Name of Project: Marshall Homes			
Project Location: Cobourg, Ontario			
Item	Ontario Building Code	Building Code Reference	
Data Matrix Part 3 or 9		References are to Division B unless noted [A] for Division A or [C] for Division C.	
1	Project Description: <input type="checkbox"/> Change of Use <input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Alteration	<input type="checkbox"/> Part 11 11.1 to 11.4 <input type="checkbox"/> Part 3 1.1.2. [A] <input type="checkbox"/> Part 9 1.1.2. [A] & 9.10.1.3.	
2	Major Occupancy(s) Group C (Residential)	3.1.2.1(1)	9.10.2.
3	Building Area (m2) Existing 0 sq. m. New 391 m2 Total 391 m2	1.4.1.2. [A]	1.4.1.2. [A]
4	Gross Area Existing 0 sq. m. New 1492 m2 Total 1492 m2	1.4.1.2. [A]	1.4.1.2. [A]
5	Number of Storeys Above Grade 3 Below Grade 1	1.4.1.2.[A]&3.2.1.1.	1.4.1.2.[A]&9.10.4
6	Height of Building (m) 12.59 m		
7	Number of Streets / Fire Fighter Access 2	3.2.2.10.&3.2.5.	9.10.20
8	Building Classification GROUP C (RESIDENTIAL)	3.2.2.20. - 83	9.10.2.
9	Sprinkler System Proposed <input type="checkbox"/> Entire Building <input type="checkbox"/> Selected Compartments <input type="checkbox"/> Basement <input type="checkbox"/> In Lieu of Roof Rating <input type="checkbox"/> Not Required	3.2.2.20. - 83 3.2.2.17 3.2.1.5. INDEX	9.10.8.2 INDEX
10	Standpipe required	3.2.9.	N/A
11	Fire Alarm required	3.2.4.	9.10.18.
12	Water Service / Supply is Adequate	3.2.5.7.	N/A
13	High Building	3.2.6.	N/A
14	Permitted Construction Actual Construction <input type="checkbox"/> Combustible permitted <input type="checkbox"/> Combustible <input type="checkbox"/> Non-Combustible Required <input type="checkbox"/> Non-Combustible <input type="checkbox"/> Both	3.2.2.20. - 83	9.10.6.
15	Mezzanine(s) Area m2 N/A	3.2.1.1.(3). (8)	9.10.4.1
16	Occupant load based on <input type="checkbox"/> m2 / person <input checked="" type="checkbox"/> Design of Building	3.1.17.	9.9.1.3.
Ground Floor: OCCUPANCY 16 Main Floor: OCCUPANCY 16 Second Floor: OCCUPANCY 32 Third Floor: OCCUPANCY 32 Residential occupancies are based on 2 persons per bedroom for each dwelling unit			
Total: 64 persons			
17	Barrier Free Design <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Explain)	3.8.1.1	9.5.2.
18	Hazardous Substances <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.3.1.2.&3.3.1.19.	9.10.1.3.(4)
19	Required Fire Resistance Rating (FRR) Horizontal Assemblies FRR (Hours) Floors 1 HR bit Unit; 0.75 HR within Unit Roof NO RATING REQ'D Mezzanine N/A FRR of Supporting Members Floors 1 HR bit Unit; 0.75 HR within Unit Roof NO RATING REQ'D Mezzanine N/A	Listed Design No. or Description (SB-2) 3.2.2.20. - 83 & 3.2.1.4	9.10.8 9.10.9.
20	Spatial Separation - Construction of Exterior Walls	3.2.3.	9.10.14.
FRONT	Wall Area of EBF (m²) L.D. (m) UH or H/L Permitted Max % of Openings Proposed % of Openings FRR (Hours) Listed Design or Description Comb. Const. Comb. Clad. Non-Comb. Clad. Non-Comb. Const.		
R6	2201 B 8.18 12.56 N/A 100% 30% 0 HR N/A YES YES		
R6	2202 B 12.49 12.56 N/A 100% 53% 0 HR N/A YES YES		
R6	2203 B 4.06 12.56 N/A 100% 55% 0 HR N/A YES YES		
R6	2204 B 45.72 12.56 N/A 100% 38% 0 HR N/A YES YES		
R7	2201 A 8.21 28.29 N/A 100% 30% 0 HR N/A YES YES		
R7	2202 A 12.59 28.29 N/A 100% 53% 0 HR N/A YES YES		
R7	2203 A 4.26 28.29 N/A 100% 52% 0 HR N/A YES YES		
R7	2204 A 43.22 28.29 N/A 100% 37% 0 HR N/A YES YES		
R8	2201 A 8.21 27.11 N/A 100% 30% 0 HR N/A YES YES		
R8	2202 A 12.59 27.11 N/A 100% 53% 0 HR N/A YES YES		
R8	2203 A 4.26 27.11 N/A 100% 52% 0 HR N/A YES YES		
R8	2204 A 43.22 27.11 N/A 100% 37% 0 HR N/A YES YES		
R9	2201 B 8.18 25.91 N/A 100% 30% 0 HR N/A YES YES		
R9	2202 B 12.49 25.91 N/A 100% 53% 0 HR N/A YES YES		
R9	2203 B 4.06 25.91 N/A 100% 55% 0 HR N/A YES YES		
R9	2204 B 45.72 25.91 N/A 100% 38% 0 HR N/A YES YES		
R9	2201 B 22.53 17.24 N/A 100% 33% 0 HR N/A YES YES		
R9	2202 B 21.47 17.24 N/A 100% 30% 0 HR N/A YES YES		
R9	2203 B 40.81 17.24 N/A 100% 41% 0 HR N/A YES YES		
R8	2201 A 22.53 17.24 N/A 100% 33% 0 HR N/A YES YES		
R8	2202 A 21.47 17.24 N/A 100% 30% 0 HR N/A YES YES		
R8	2203 A 40.81 17.24 N/A 100% 41% 0 HR N/A YES YES		
R7	2201 A 22.53 17.24 N/A 100% 33% 0 HR N/A YES YES		
R7	2202 A 21.47 17.24 N/A 100% 30% 0 HR N/A YES YES		
R7	2203 A 40.81 17.24 N/A 100% 41% 0 HR N/A YES YES		
R6	2201 C 22.53 17.24 N/A 100% 33% 0 HR N/A YES YES		
R6	2202 C 21.47 17.24 N/A 100% 30% 0 HR N/A YES YES		
R6	2203 C 41.07 17.24 N/A 100% 41% 0 HR N/A YES YES		
R6	2201 B 24.03 2.5 N/A 15% 4% 1 HR N/A YES YES		
R6	2202 B 25.67 2.5 N/A 17% 7% 1 HR N/A YES YES		
R6	2203 B - Z1 19.65 2.5 N/A 21% 10% 1 HR N/A YES YES		
R6	2203 B - Z2 36.01 2.5 N/A 15% 13% 1 HR N/A YES YES		
R6	2204 B 38.22 2.5 N/A 15% 9% 1 HR N/A YES YES		
R9	2201 B 24.03 2.5 N/A 15% 4% 1 HR N/A YES YES		
R9	2202 B 25.67 2.5 N/A 21% 7% 1 HR N/A YES YES		
R9	2203 B - Z1 19.65 2.5 N/A 15% 10% 1 HR N/A YES YES		
R9	2203 B - Z2 36.01 2.5 N/A 15% 13% 1 HR N/A YES YES		
R9	2204 B 38.22 2.5 N/A 15% 9% 1 HR N/A YES YES		
21	Washroom Fixtures = 1 MIN. per Suite		9.3.1.1/9.31.4
22	Means of Egress, Access to Exits & Exit Analysis	Explain: Public Stairs: Rise = 180mm max. Run = 280mm max. Private Stairs: Rise = 200mm max. Run = 210mm min.	9.9

2 MAIN FLOOR PLAN  
1/8" = 1'-0"1 01 GROUND FLOOR PLAN  
1/8" = 1'-0"

APPLICATION NUMBER:

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NOTES:

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## LEGEND

--- FIRE SEPARATION: 45 MIN. FRR

- - - FIRE SEPARATION: 1.0 HR FRR

... FIRE SEPARATION: 2.0 HR FRR

## GROSS FLOOR AREA 1491.65 sq.m. (16056 sq.ft.)

GROUND FLOOR AREA	390.19 sq.m. (4200 sq.ft.)
MAIN FLOOR AREA	353.77 sq.m. (3808 sq.ft.)
SECOND FLOOR AREA	373.84 sq.m. (4024 sq.ft.)
THIRD FLOOR AREA	373.84 sq.m. (4024 sq.ft.)

## BUILDING AREA 391.31 sq.m. (4212 sq.ft.)

A FIREWALL IS REQUIRED IF THE BUILDING AREA IS GREATER THAN 600 m2 (6458 sq ft) AS PER BUILDING CODE PART 9 LIMITATIONS SECTION 1.1.2.4.(1).

" DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2. IS THE EXTENT OF THE GREATEST HORIZONTAL BUILDING EXTERIOR WALLS ABOVE GRADE TO IF REQ'D THE CENTER OF THE FIREWALL (DEMISING LINE)

BUILDING AREA CALCULATION FOR FIREWALLS AS PER O.B.C. PART 1 SECTION 1.1.2.4.(1), PART 3.1. & 9.10.

## BUILDING AREA SEPERATED BY FIREWALL

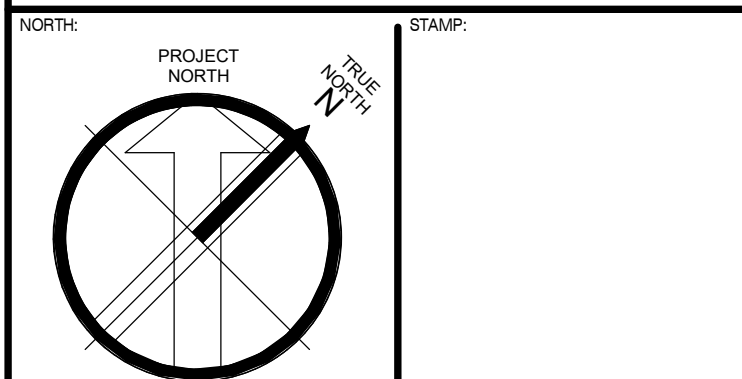
N/A	0.00 sq.m. (0 sq.ft.)
N/A	0.00 sq.m. (0 sq.ft.)

REVISIONS		
1	ISSUED FOR SPA SUBMISSION	2021.09.13 SL
No.	Description	YYYY.MM.DD By

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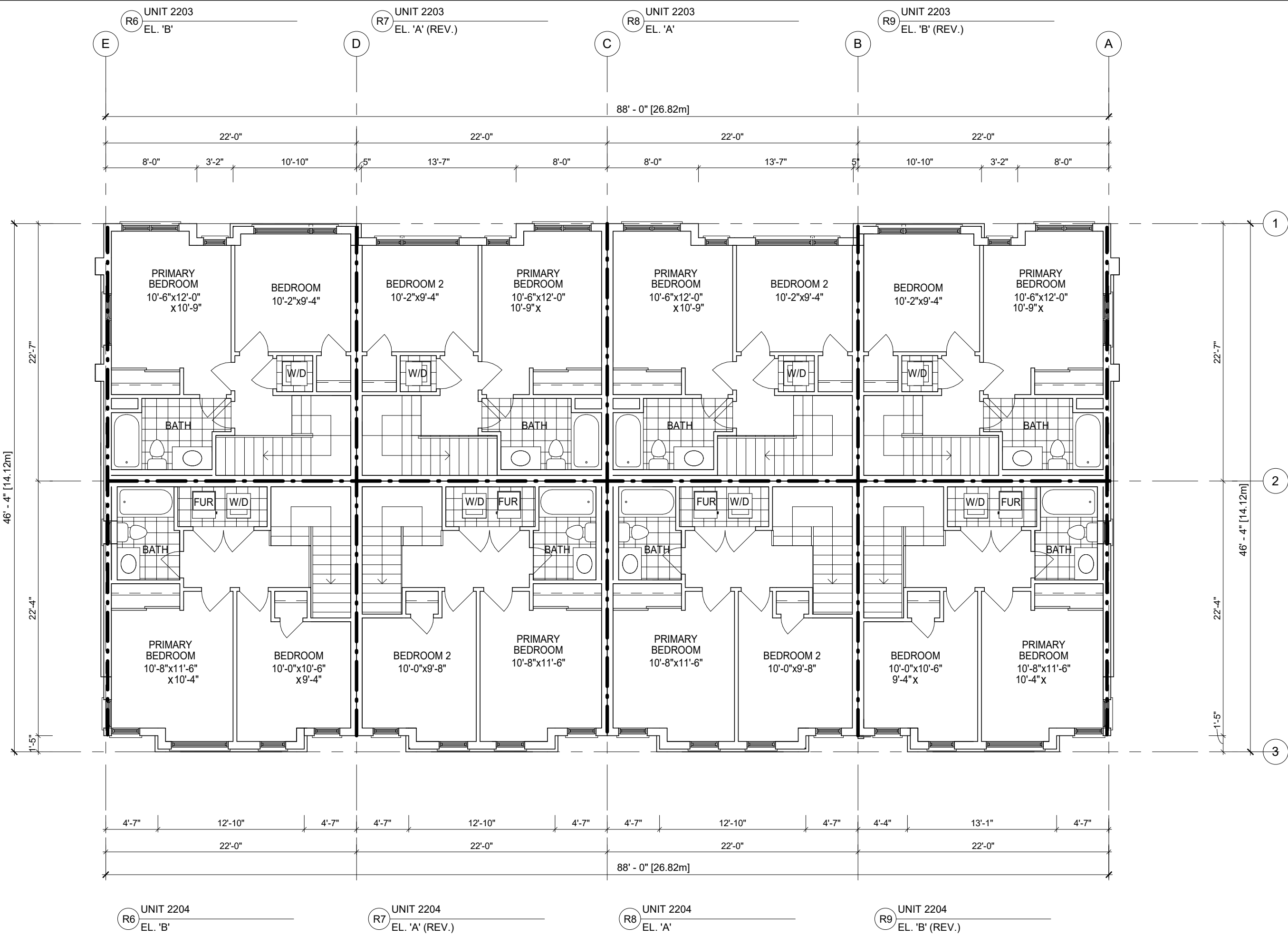
MARSHALL HOMES - 220082  
COBOURG, ON

FLOOR PLANS  
BUILDING 9

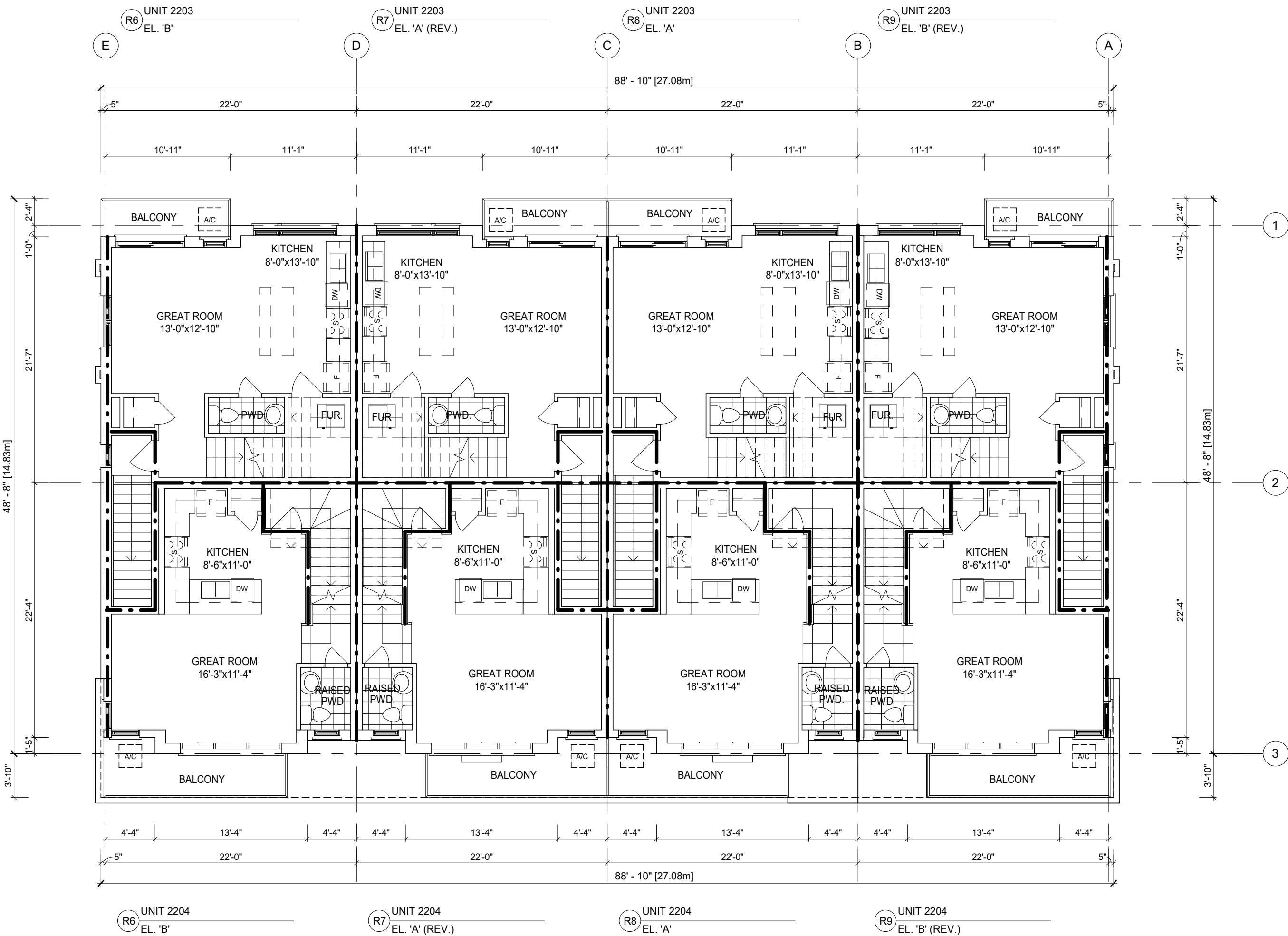
2021.09.13

As indicated  
Drawn By: HM  
Checked By: SL

B9-1



2 THIRD FLOOR PLAN  
1/8" = 1'-0"



1 SECOND FLOOR PLAN  
1/8" = 1'-0"

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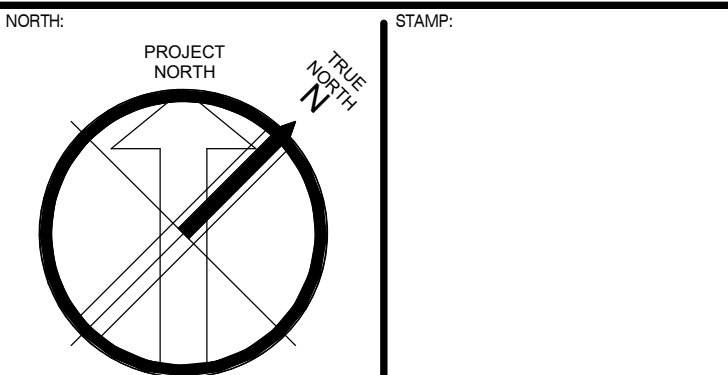
BUILDING AREA SEPERATED BY FIREWALL

N/A	0.00 sq.m. (0 sq.ft.)
N/A	0.00 sq.m. (0 sq.ft.)

REVISIONS		
1	ISSUED FOR SPA SUBMISSION	2021.09.13
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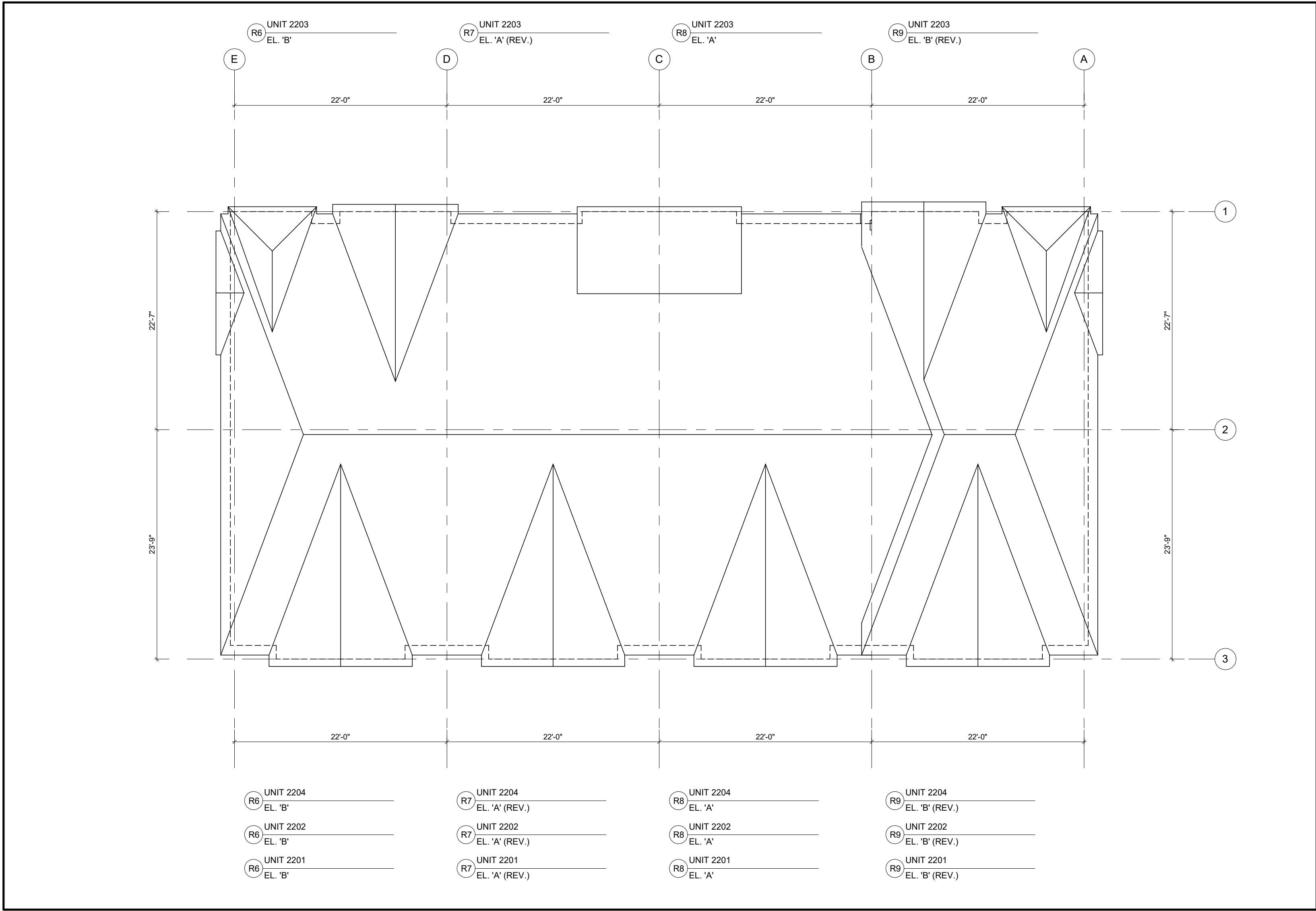
MARSHALL HOMES - 220082  
COBOURG, ON

FLOOR PLANS  
BUILDING 9

2021.09.13  
As indicated  
HM  
SL

B9-2





APPLICATION NUMBER:

APPLICATION NUMBER:

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LEGEND	
----	FIRE SEPARATION: 45 MIN. FRR
- . - .	FIRE SEPARATION: 1.0 HR FRR
----	FIRE SEPARATION: 2.0 HR FRR

GROSS FLOOR AREA	1491.65 sq.m. (16056 sq.ft.)
GROUND FLOOR AREA	390.19 sq.m. (4200 sq.ft.)
MAIN FLOOR AREA	353.77 sq.m. (3808 sq.ft.)
SECOND FLOOR AREA	373.84 sq.m. (4024 sq.ft.)
THIRD FLOOR AREA	373.84 sq.m. (4024 sq.ft.)

BUILDING AREA	391.31 sq.m.(4212 sq.ft.)
---------------	---------------------------

A FIREWALL IS REQUIRED IF THE BUILDING AREA IS GREATER THAN 600 m2 (6458 sq ft) AS PER BUILDING CODE PART 9 LIMITATIONS SECTION 1.1.2.4.(1)  
\*\* DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2. IS THE EXTENT OF THE GREATEST HORIZONTAL BUILDING EXTERIOR WALLS ABOVE GRADE TO IF REQ'D THE CENTER OF THE FIREWALL (DEMISING LINE)

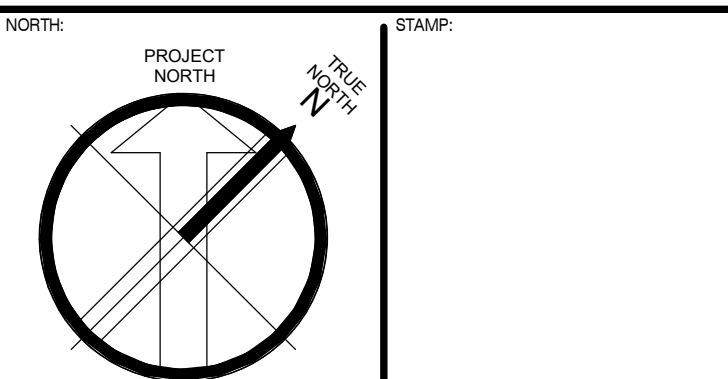
BUILDING AREA CALCULATION FOR FIREWALLS AS PER O.B.C. PART 1 SECTION 1.1.2.4.(1), PART 3.1. & 9.10.

BUILDING AREA SEPERATED BY FIREWALL	
N/A	0.00 sq.m. (0 sq.ft.)
N/A	0.00 sq.m. (0 sq.ft.)

REVISIONS	
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SUBMITTALS	
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1.	ISSUED FOR SPA SUBMISSION
No.	Description
1.	2021.09.13
By:	SL

CLIENT: MARSHALL HOMES



4 ARCHITECTURE INC  
WWW.4ARCHITECTURE.CA  
8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7  
T: (905) 470 7212 / F: (905) 737 7326 email: mail@4architecture.ca

MARSHALL HOMES - 220082  
COBOURG, ON

ROOF PLAN  
BUILDING 9

2021.09.13  
As indicated  
Drawn By: HM  
Checked By: SL

B9-3

EXTERIOR COLOUR SELECTION	MANUFACTURER	1 Std. Towns	2 RL Towns	3 Stacked Towns
Roof	BP Mystique	2-Tone Black	2-Tone Black	2-Tone Black
Soffit, Eavestroughs, RWL and Frieze Board	Giancola Aluminum	Slate	Iron Ore	Slate
Brick 1 (Base Brick)	Meridian Brick	Portland	Vanier	Vanier
Brick 2 (Upper Brick)	Meridian Brick	Kelowna	Portland	Kelowna
Vinyl Siding, (including corner trim & capping)	Mitten	Stratus	White	Stratus
Non-combustible Siding Where required	James Hardie	colour to match Vinyl Siding		
Front Door & Garage Door	Sherwin Williams	Perle Noir SW 9154	Perle Noir SW 9154	Perle Noir SW 9154
Prefinished Exterior Trim, Panels, Exterior Posts & Door Frame	Sherwin Williams	Popular Gray SW6071	Popular Gray SW6071	Popular Gray SW6071
Windows	Newmar	Black	Black	Black
Railings	Airport Railing	Black	Black	Black



2 FRONT ELEVATION  
1/8" = 1'-0"



1 REAR ELEVATION  
1/8" = 1'-0"

APPLICATION NUMBER:

APPLICATION NUMBER:

NOTES:  
THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF 4 ARCHITECTURE INC.  
THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE, AND MUST NOTIFY 4 ARCHITECTURE INC. OF ANY VARIATION FROM THE SUPPLIED INFORMATION.  
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CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.  
ALL ARCHITECTURAL SYMBOLS INDICATED ARE GRAPHIC REPRESENTATIONS ONLY.  
DRAWINGS ARE NOT TO BE SCALED.

MATERIAL LEGEND

- 1 BRICK VENEER 1
- 2 BRICK VENEER 2
- 3 VERTICAL SIDING
- 4 HORIZONTAL SIDING
- 5 ASPHALT SHINGLES
- 6 ALUMINUM FRIEZE BOARD
- 7 PRECAST CONC. SILL / BANDING
- 8 BRICK SOLDIER COURSE
- 9 ALUMINIUM RAILING
- 10 PRIVACY SCREEN

REVISIONS			
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1	ISSUED FOR SPA SUBMISSION	2021.09.13	SL
No.	Description	YYYY.MM.DD	By

CLIENT: MARSHALL HOMES

WORTH: STAMP:

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WWW.4ARCHITECTURE.CA  
8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7  
T: (905) 470 7212 / F: (905) 737 7326 email: mail@4architecture.ca

MARSHALL HOMES - 220082  
COBOURG, ON

ELEVATIONS  
BUILDING 9

2021.09.13

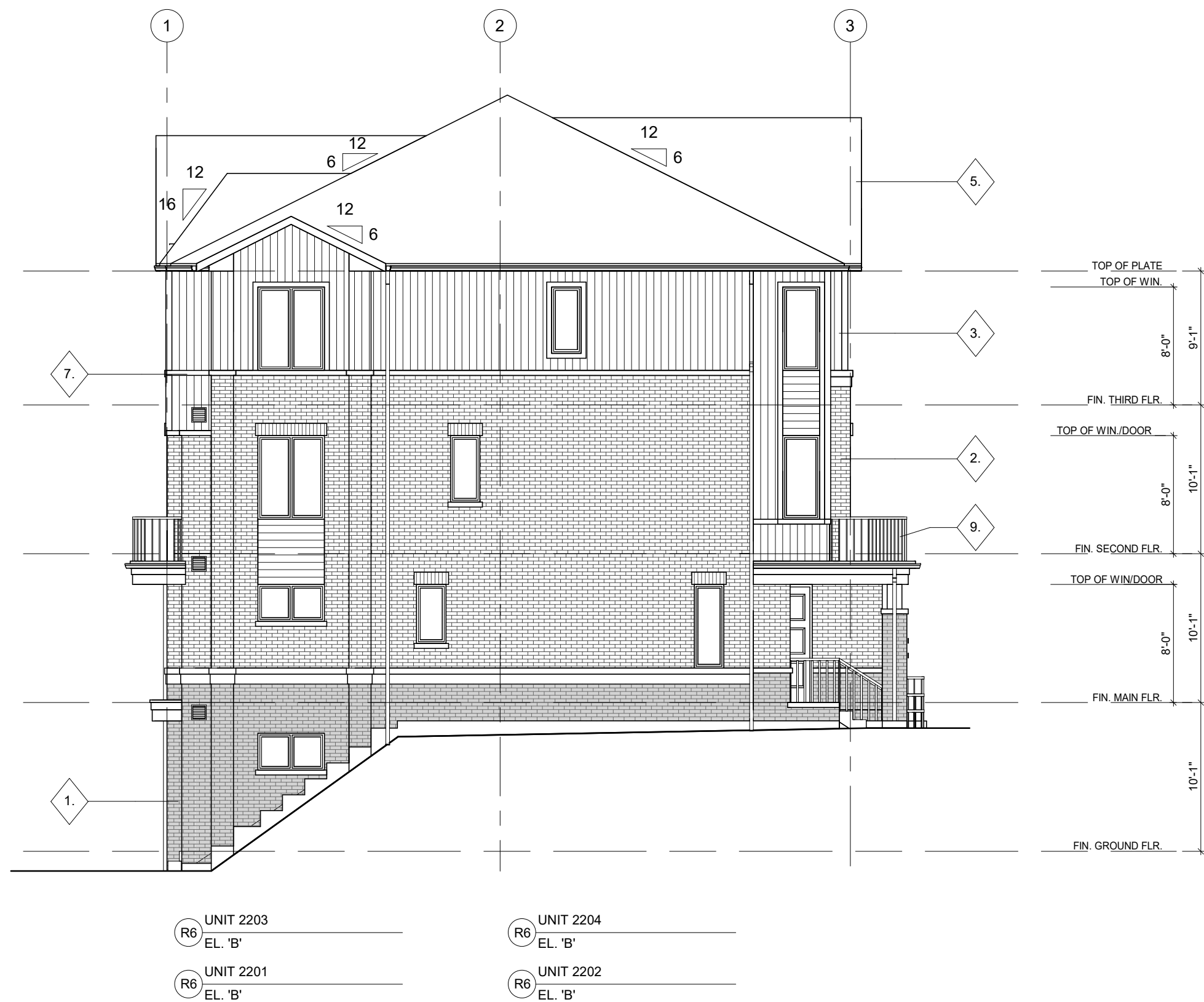
Scale: 1/8" = 1'-0"

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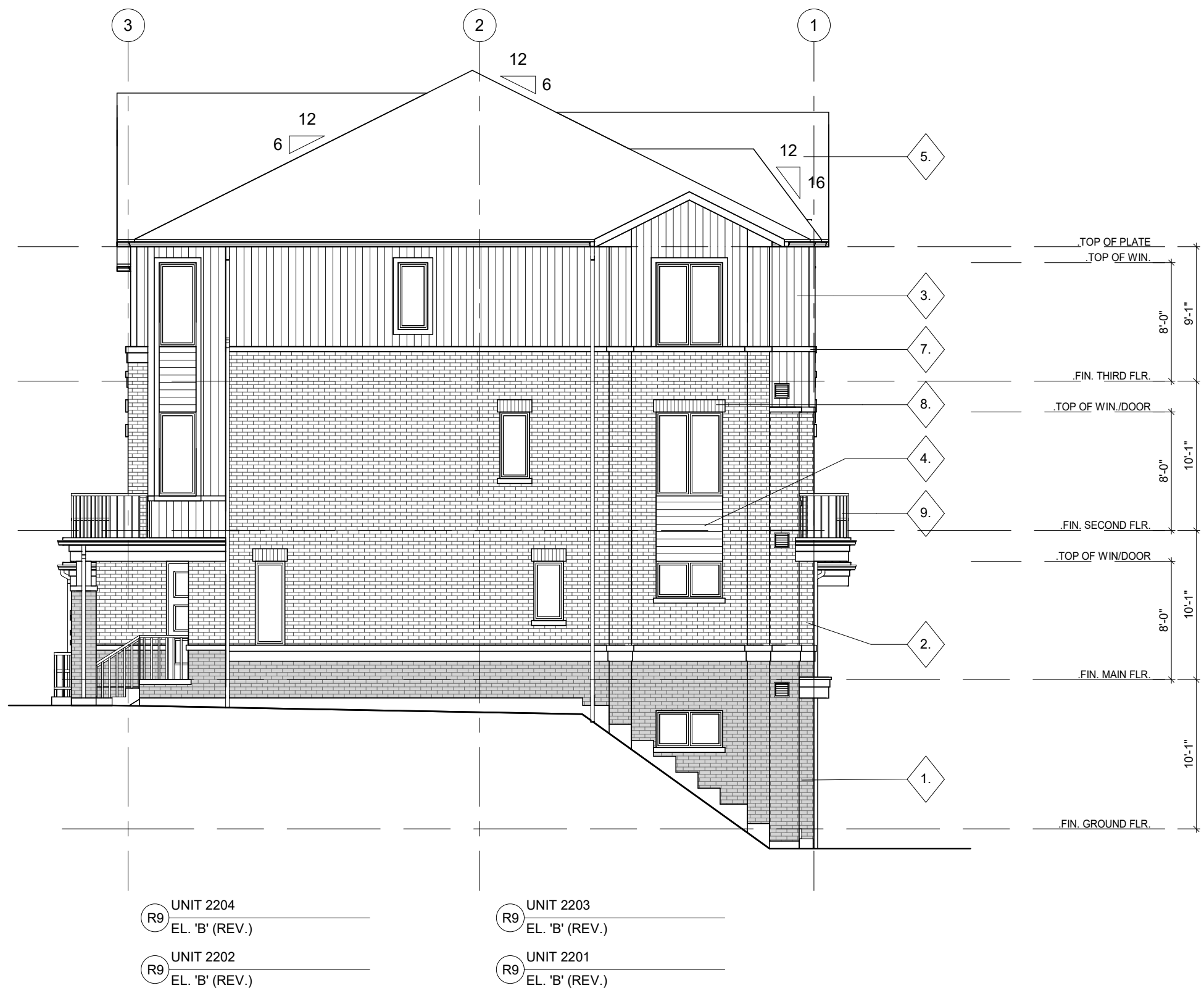
B9-4





UNIT 2201, EL. 'B'	UNIT 2202, EL. 'B'																																																						
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2 RIGHT SIDE ELEVATION  
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UNIT 2201, EL. 'B'	UNIT 2202, EL. 'B'
WINDOW SUMMARY PER O.B.C. TABLE 9.10.14.4.	WINDOW SUMMARY PER O.B.C. TABLE 9.10.14.4.
SPATIAL CALCULATION	SPATIAL CALCULATION
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S.F. S.M. S.F. ft % SF SF	S.F. S.M. S.F. ft % SF SF
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208.67 1.00 HRS. X X	208.67 1.00 HRS. X X
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WINDOW SUMMARY PER O.B.C. TABLE 9.10.14.4.	
SPATIAL CALCULATION	
EXPOSING BUILDING FACE AREA PORTION WALL AREA LIMITING DISTANCE MAX. % OPENINGS OPENINGS ALLOWED OPENINGS PROVIDED	
117.44 38.22 117.44 2.5 62.3 37.9 0	
S.F. S.M. S.F. ft % SF SF	
ADDITIONAL NOTES	
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2% AROUND ENTIRE PERIMETER PER O.B.C. TABLE 9.10.14.5 MIN. REQ'D. F.R.R. CONSTRUCTION REQ'D. CLADDING REQ'D.	
208.67 1.00 HRS. X X	

APPLICATION NUMBER:

APPLICATION NUMBER:

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DRAWINGS ARE NOT TO BE SCALED.

#### MATERIAL LEGEND

- 1 BRICK VENEER 1
- 2 BRICK VENEER 2
- 3 VERTICAL SIDING
- 4 HORIZONTAL SIDING
- 5 ASPHALT SHINGLES
- 6 ALUMINUM FRIEZE BOARD
- 7 PRECAST CONC. SILL / BANDING
- 8 BRICK SOLDIER COURSE
- 9 ALUMINUM RAILING
- 10 PRIVACY SCREEN

REVISIONS		
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SUBMITTALS		
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CLIENT:	MARSHALL HOMES
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CLIENT:	MARSHALL HOMES
1	ISSUED FOR SPA SUBMISSION
No.	Description
1	ISSUED FOR SPA SUBMISSION
2021.09.13	SL

4 ARCHITECTURE INC.  
WWW.4ARCHITECTURE.CA  
8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7  
T: (905) 470 7212 / F: (905) 737 7326 email: mail@4architecture.ca

MARSHALL HOMES - 220082  
COBOURG, ON

ELEVATIONS

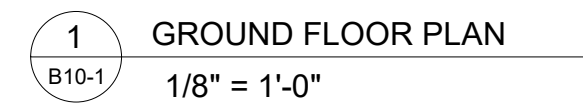
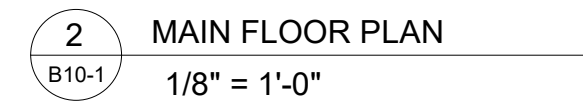
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1/8" = 1'-0"

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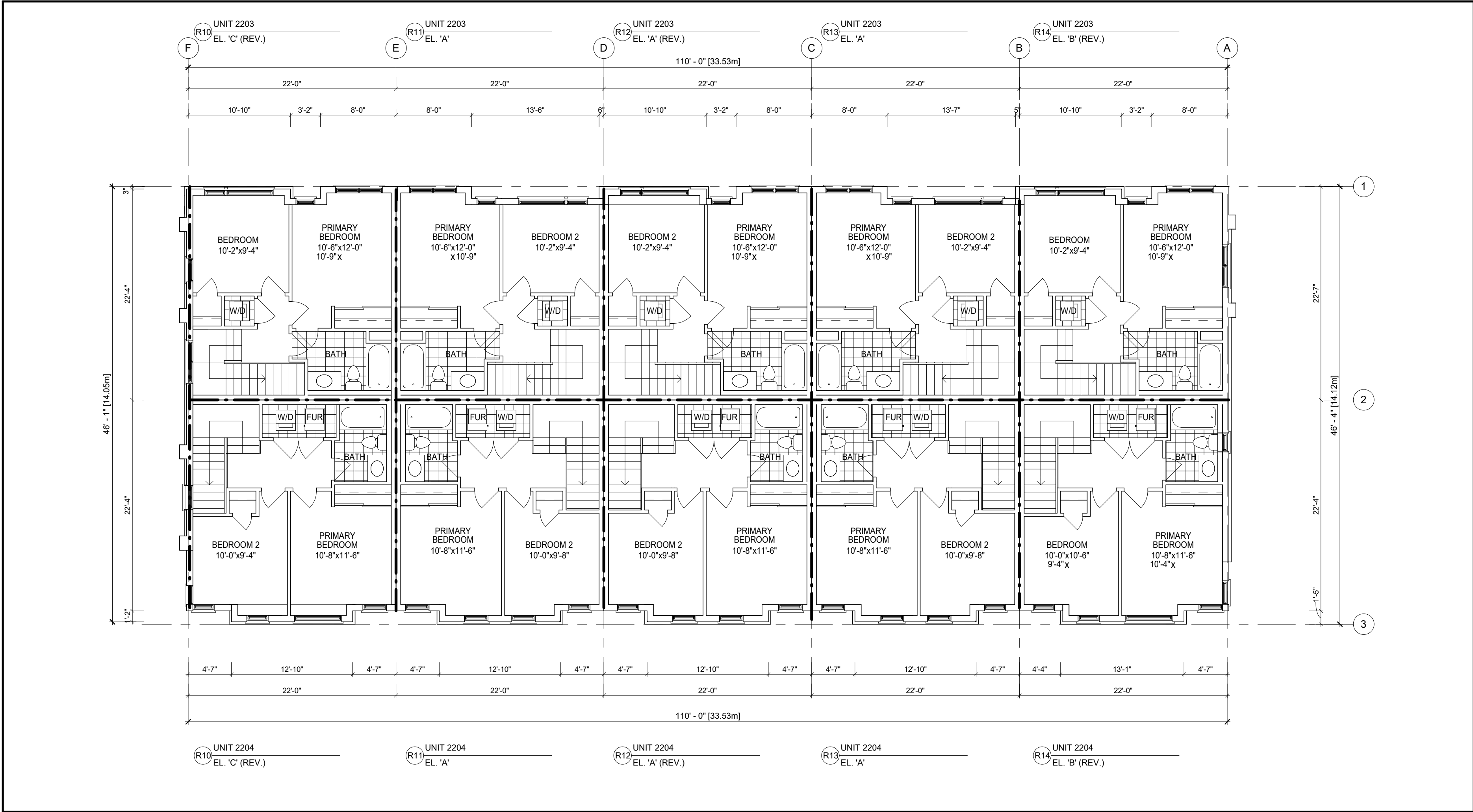
Firm Name:		4 ARCHITECTURE INC.														
Address:		8966 Woodbine Avenue, Suite 300 Markham, ON L3R 9J7 T.905.470.7121 / F.905.737.7326 / email : mail@4architecture.ca														
Certificate of Practice Number:												The architect noted above has exercised responsible control with respect to design activities. The architect's seal number is the architect's BCQN as required under the Building Code Designation System.				
Name of Project:		Marshall Homes														
Project Location:		Cobourg, Ontario														
Item		Ontario Building Code										Building Code Reference				
		Data Matrix Part 3 or 9										References are to Division B unless noted [A] for Division A or [C] for Division C.				
1		Project Description: <div><div><input type="checkbox"/> Change of Use</div><div><input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Alteration</div></div> <div><input type="checkbox"/> Part 11 11.1 to 11.4</div>										<div><input type="checkbox"/> Part 3 1.1.2 [A]</div> <div><input type="checkbox"/> Part 9 1.1.2 [A] &amp; 9.10.1.3</div>				
2		Major Occupancy(s) <b>GROUP C (Residential)</b>										3.1.2.1(1) 9.10.2.				
3		Building Area (m2) Existing <b>0 sq. m.</b> New <b>488 m2</b> Total <b>488 m2</b>										1.4.1.2 [A] 1.4.1.2 [A]				
4		Gross Area Existing <b>0 sq. m.</b> New <b>1861 m2</b> Total <b>1861 m2</b>										1.4.1.2 [A] 1.4.1.2 [A]				
5		Number of Storeys Above Grade <b>3</b> Below Grade <b>1</b>										1.4.1.2[A]&3.2.1.1. 1.4.1.2[A]&9.10.4				
6		Height of Building (m) 12.43 m										3.2.2.10 & 3.2.5.				
7		Number of Streets / Fire Fighter Access <b>3</b>										9.10.20				
8		Building Classification <b>GROUP C (RESIDENTIAL)</b>										3.2.2.20 - 83 9.10.2.				
9		Sprinkler System Proposed <input type="checkbox"/> Entire Building <input type="checkbox"/> Selected Compartments <input type="checkbox"/> Selected Floor Areas <input type="checkbox"/> Basement <input type="checkbox"/> In Lieu of Roof Rating <input type="checkbox"/> Not Required										3.2.2.20 - 83 3.2.2.17 INDEX 9.10.8.2 INDEX				
10		Standpipe required <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No										3.2.9. N/A				
11		Fire Alarm required <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No										3.2.4. 9.10.18.				
12		Water Service / Supply is Adequate <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No										3.2.5.7. N/A				
13		High Building <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No										3.2.6. N/A				
14		Permitted Construction <input type="checkbox"/> Combustible permitted <input type="checkbox"/> Non-Combustible Required <input type="checkbox"/> Both <input type="checkbox"/> Actual Construction <input type="checkbox"/> Combustible <input type="checkbox"/> Non-Combustible <input type="checkbox"/> Both										3.2.2.20 - 83 9.10.6.				
15		Mezzanine(s) Area m2 <b>N/A</b>										3.2.1.1.(3)_(8) 9.10.4.1				
16		Occupant load based on <input type="checkbox"/> m2 / person <input checked="" type="checkbox"/> Design of Building										3.1.17. 9.9.1.3.				
		Total Occupant Load Ground Floor: OCCUPANCY_20 Main Floor: OCCUPANCY_20 Second Floor: OCCUPANCY_40 Third Floor: OCCUPANCY_40 Residential occupancies are based on 2 persons per bedroom for each dwelling unit. Total: <b>80</b> persons														
17		Barrier Free Design <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Explain)										3.8.1.1 9.5.2.				
18		Hazardous Substances <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No										3.3.1.2,8.3.3.1.19. 9.10.1.3.(4)				
19		Required Fire Resistance Rating (FRR) <div><div>Horizontal Assemblies FRR (Hours) Floors <b>1 HR br Unit; 0.75 HR within Unit</b> Roof <b>NO RATING REQ'D</b> Mezzanine <b>N/A</b> FRR of Supporting Members Floors <b>1 HR br Unit; 0.75 HR within Unit</b> Roof <b>NO RATING REQ'D</b> Mezzanine <b>N/A</b></div><div>Listed Design No. or Description (SB-2) Listed Design No. Or Description (SB-2)</div></div>										3.2.2.20 - 83 & 3.2.1.4 9.10.8. 9.10.9.				
20		Spatial Separation - Construction of Exterior Walls										3.2.3. 9.10.14.				
		Wall Area of EBF (m²) L.D. (m) L/H or H/L Permitted Max % of Openings Proposed % of Openings FRR (Hours)										Listed Design or Description Comb. Const. Comb. Clad. Non-Comb. Clad. Non-Comb. Constr.				
FRONT		R10 2201 C 8.21 21.93 N/A 100% 30% 0 HR N/A YES YES														
		R10 2202 C 12.59 21.93 N/A 100% 53% 0 HR N/A YES YES														
		R10 2203 C 5.16 21.93 N/A 100% 43% 0 HR N/A YES YES														
		R10 2204 C 46.06 21.93 N/A 100% 38% 0 HR N/A YES YES														
		R11 2201 A 8.21 16.49 N/A 100% 30% 0 HR N/A YES YES														
		R11 2202 A 12.59 16.49 N/A 100% 53% 0 HR N/A YES YES														
		R11 2203 A 4.26 16.49 N/A 100% 52% 0 HR N/A YES YES														
		R11 2204 A 43.22 16.49 N/A 100% 37% 0 HR N/A YES YES														
		R12 2201 A 8.21 16.49 N/A 100% 30% 0 HR N/A YES YES														
		R12 2202 A 12.59 16.49 N/A 100% 53% 0 HR N/A YES YES														
		R12 2203 A 4.26 16.49 N/A 100% 52% 0 HR N/A YES YES														
		R12 2204 A 43.22 16.49 N/A 100% 37% 0 HR N/A YES YES														
		R13 2201 A 8.21 13.77 N/A 100% 30% 0 HR N/A YES YES														
		R13 2202 A 12.59 13.77 N/A 100% 53% 0 HR N/A YES YES														
		R13 2203 A 4.26 13.77 N/A 100% 52% 0 HR N/A YES YES														
		R13 2204 A 43.22 13.77 N/A 100% 37% 0 HR N/A YES YES														
		R14 2201 B 8.18 11.15 N/A 100% 30% 0 HR N/A YES YES														
		R14 2202 B 12.49 11.15 N/A 100% 53% 0 HR N/A YES YES														
		R14 2203 B 4.06 11.15 N/A 100% 55% 0 HR N/A YES YES														
		R14 2204 B 46.72 11.15 N/A 100% 38% 0 HR N/A YES YES														
REAR		R14 2201 B 22.53 17.98 N/A 100% 33% 0 HR N/A YES YES														
		R14 2202 B 21.47 17.98 N/A 100% 30% 0 HR N/A YES YES														
		R14 2203 B 40.81 17.98 N/A 100% 41% 0 HR N/A YES YES														
		R13 2201 A 22.53 17.98 N/A 100% 33% 0 HR N/A YES YES														
		R13 2202 A 21.47 17.98 N/A 100% 30% 0 HR N/A YES YES														
		R13 2203 A 40.81 17.98 N/A 100% 41% 0 HR N/A YES YES														
		R12 2201 A 22.53 17.98 N/A 100% 33% 0 HR N/A YES YES														
		R12 2202 A 21.47 17.98 N/A 100%														



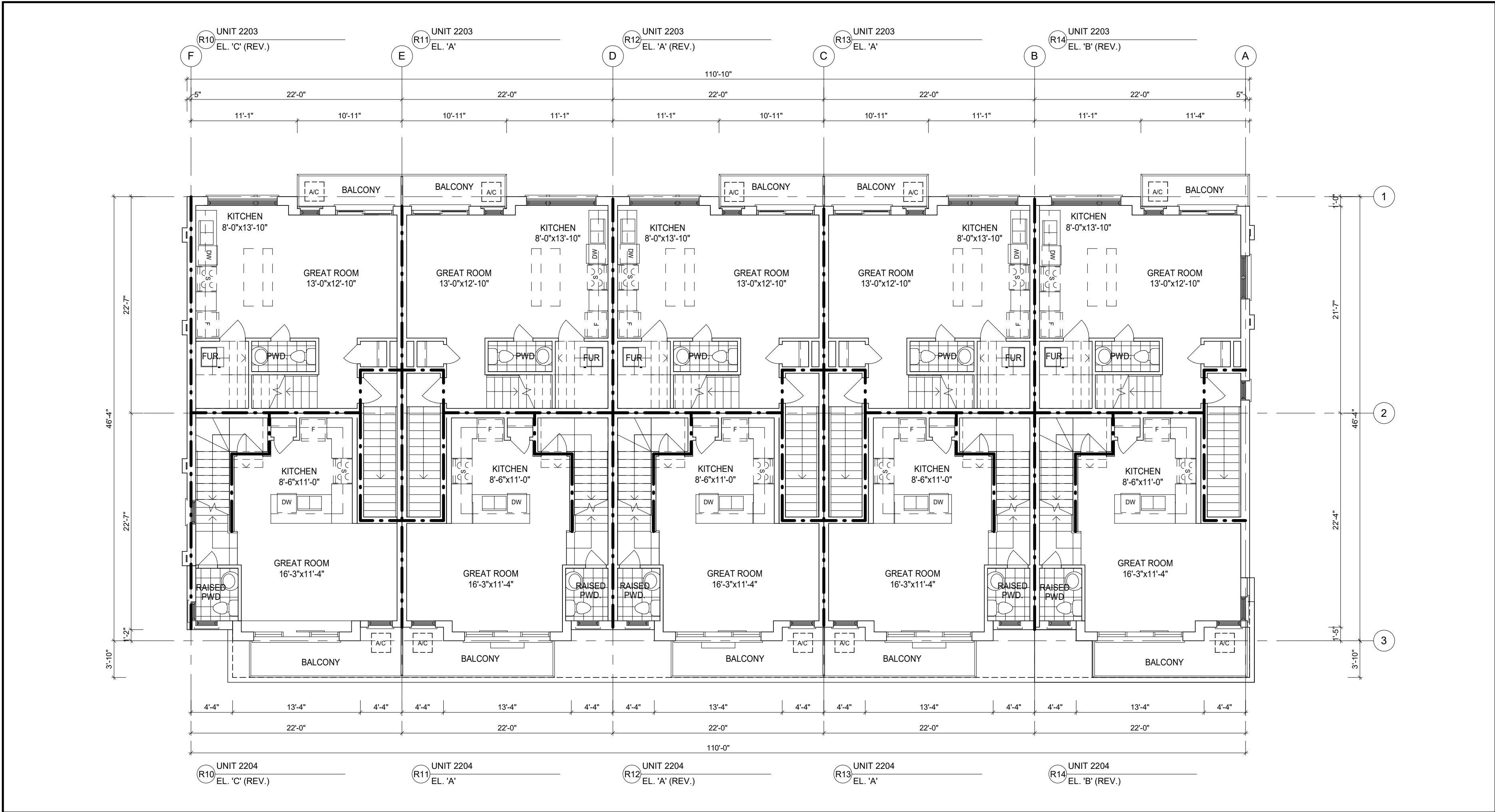
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**B10-1**





2 THIRD FLOOR PLAN  
1/8" = 1'-0"



1 SECOND FLOOR PLAN  
1/8" = 1'-0"

APPLICATION NUMBER:

APPLICATION NUMBER:

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LEGEND

- FIRE SEPARATION: 45 MIN. FRR
- . - . - FIRE SEPARATION: 1.0 HR FRR
- - - - - FIRE SEPARATION: 2.0 HR FRR

GROSS FLOOR AREA 1861.31 sq.m. (20035 sq.ft.)

GROUND FLOOR AREA	487.00 sq.m. (5242 sq.ft.)
MAIN FLOOR AREA	441.57 sq.m. (4753 sq.ft.)
SECOND FLOOR AREA	466.84 sq.m. (5025 sq.ft.)
THIRD FLOOR AREA	465.91 sq.m. (5015 sq.ft.)

BUILDING AREA 488.39 sq.m. (5257 sq.ft.)

A FIREWALL IS REQUIRED IF THE BUILDING AREA IS GREATER THAN 600 m<sup>2</sup> (6458 sq ft) AS PER BUILDING CODE PART 9 LIMITATIONS SECTION 1.1.2.4.(1)  
\*\* DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2, IS THE EXTENT OF THE GREATEST HORIZONTAL BUILDING EXTERIOR WALLS ABOVE GRADE TO IF REQ'D THE CENTER OF THE FIREWALL (DEMISING LINE)

BUILDING AREA CALCULATION FOR FIREWALLS AS PER O.B.C. PART 1 SECTION 1.1.2.4.(1), PART 3.1. & 9.10.

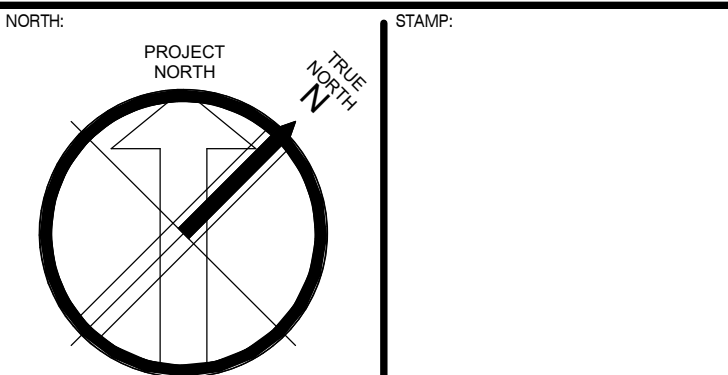
BUILDING AREA SEPERATED BY FIREWALL

N/A	0.00 sq.m. (0 sq.ft.)
N/A	0.00 sq.m. (0 sq.ft.)

REVISIONS		
1	ISSUED FOR SPA SUBMISSION	2021.09.13
No.	Description	YYYY.MM.DD By

SUBMITTALS		
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CLIENT: MARSHALL HOMES



4 ARCHITECTURE INC.  
WWW.4ARCHITECTURE.CA  
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MARSHALL HOMES - 220082  
COBOURG, ON

FLOOR PLANS  
BUILDING 10

2021.09.13

By: As indicated Drawn By: HM Checked By: SL

File Name: 220082DS\_BLDG 10\_TYPE C.rvt

B10-2

APPLICATION NUMBER:

APPLICATION NUMBER:

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LEGEND	
----	FIRE SEPARATION: 45 MIN. FRR
- . -	FIRE SEPARATION: 1.0 HR FRR
----	FIRE SEPARATION: 2.0 HR FRR

**GROSS FLOOR AREA** 1861.31 sq.m. (20035 sq.ft.)

GROUND FLOOR AREA	487.00 sq.m. (5242 sq.ft.)
MAIN FLOOR AREA	441.57 sq.m. (4753 sq.ft.)
SECOND FLOOR AREA	466.84 sq.m. (5025 sq.ft.)
THIRD FLOOR AREA	465.91 sq.m. (5015 sq.ft.)

**BUILDING AREA** 488.39 sq.m.(5257 sq.ft.)

A FIREWALL IS REQUIRED IF THE BUILDING AREA IS GREATER THAN 600 m2 (6458 sq ft) AS PER BUILDING CODE PART 9 LIMITATIONS SECTION 1.1.2.4.(1)  
\*\* DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2, IS THE EXTENT OF THE GREATEST HORIZONTAL BUILDING EXTERIOR WALLS ABOVE GRADE TO IF REQ'D THE CENTER OF THE FIREWALL (DEMISING LINE)

BUILDING AREA CALCULATION FOR FIREWALLS AS PER O.B.C. PART 1 SECTION 1.1.2.4.(1), PART 3.1. & 9.10.

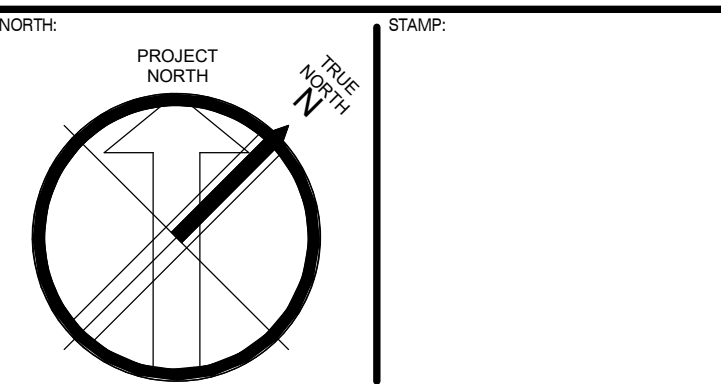
**BUILDING AREA SEPERATED BY FIREWALL**

N/A	0.00 sq.m. (0 sq.ft.)
N/A	0.00 sq.m. (0 sq.ft.)

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CLIENT: MARSHALL HOMES



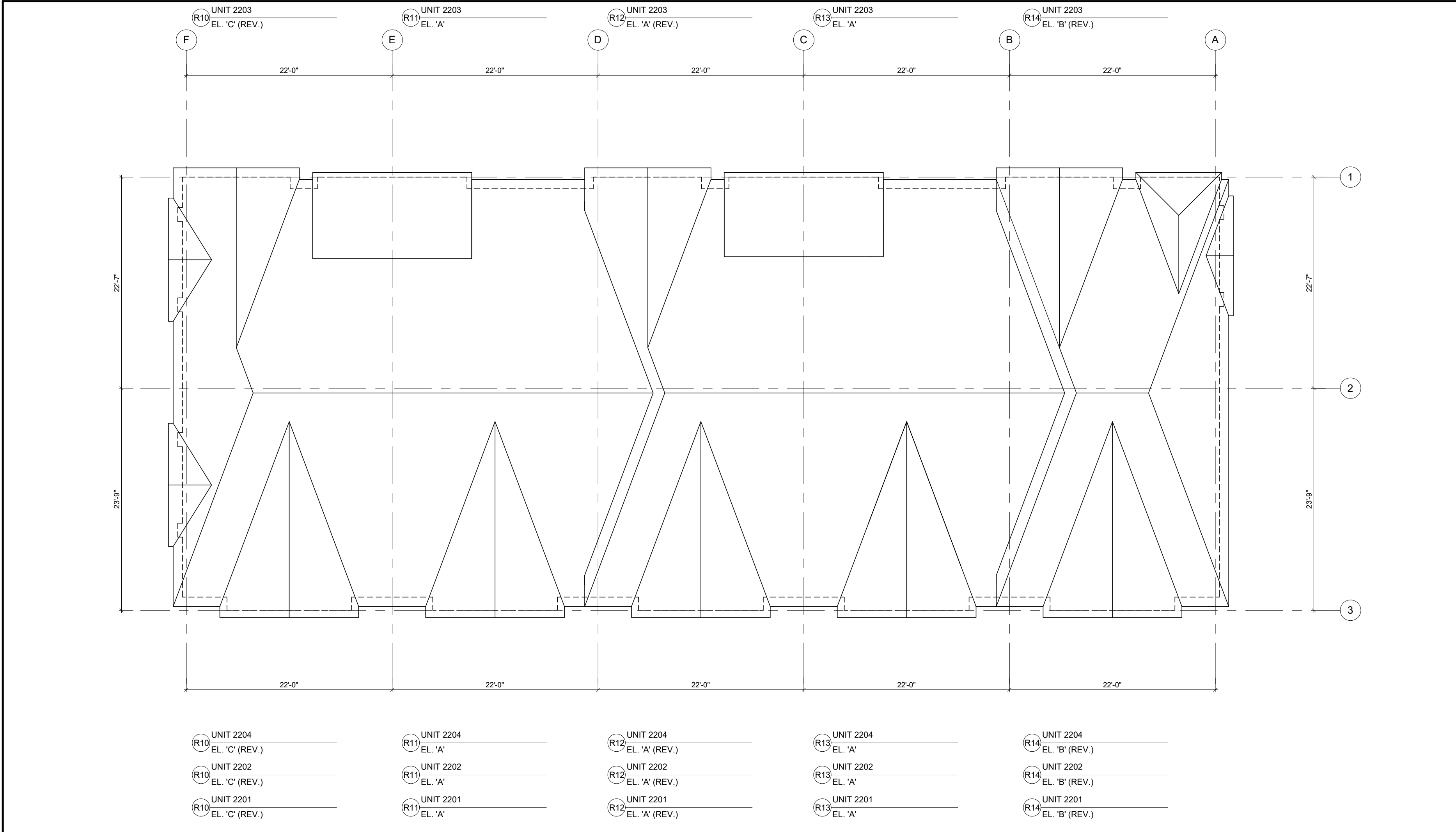
**4 ARCHITECTURE INC.**  
WWW.4ARCHITECTURE.CA  
8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7  
T: (905) 470 7212 / F: (905) 737 7326 email: mail@4architecture.ca

**MARSHALL HOMES - 220082**  
COBOURG, ON

**ROOF PLANS**  
**BUILDING 10**

2021.09.13  
As indicated  
HM  
SL

**B10-3**



**1 ROOF PLAN**  
1/8" = 1'-0"



Architectural elevation drawing of a five-unit townhouse building. The drawing shows the exterior facade with gabled roofs, multiple windows, and balconies. Key features include: a central entrance with a small porch, side entrances, and a fire escape on the right side. The drawing is annotated with dimensions, level markers (e.g., FIN. GROUND FLR, FIN. SECOND FLR), and unit identifiers (e.g., UNIT 2201, UNIT 2202). A north arrow and a scale bar (0.5') are also present.

Architectural elevation drawing of a three-story townhouse building. The drawing shows the exterior facade with various window types, doors, and rooflines. Callouts 1 through 16 identify specific architectural features. Vertical dimensions on the left and right indicate floor levels and heights. Below the drawing, a legend lists the units and their corresponding elevation levels.

**Vertical Dimensions (Left Side):**

- 10'-1" (8'-0") FIN. GROUND FLR. to TOP OF WIN.
- 10'-1" (8'-0") TOP OF WIN. to FIN. MAIN FLR.
- 10'-1" (8'-0") FIN. MAIN FLR. to TOP OF WINDOOR.
- 10'-1" (8'-0") TOP OF WINDOOR to FIN. SECOND FLR.
- 10'-1" (8'-0") FIN. SECOND FLR. to TOP OF WIN. DOOR.
- 9'-1" (8'-0") TOP OF WIN. DOOR to FIN. THIRD FLR.
- 9'-1" (8'-0") FIN. THIRD FLR. to TOP OF PLATE.

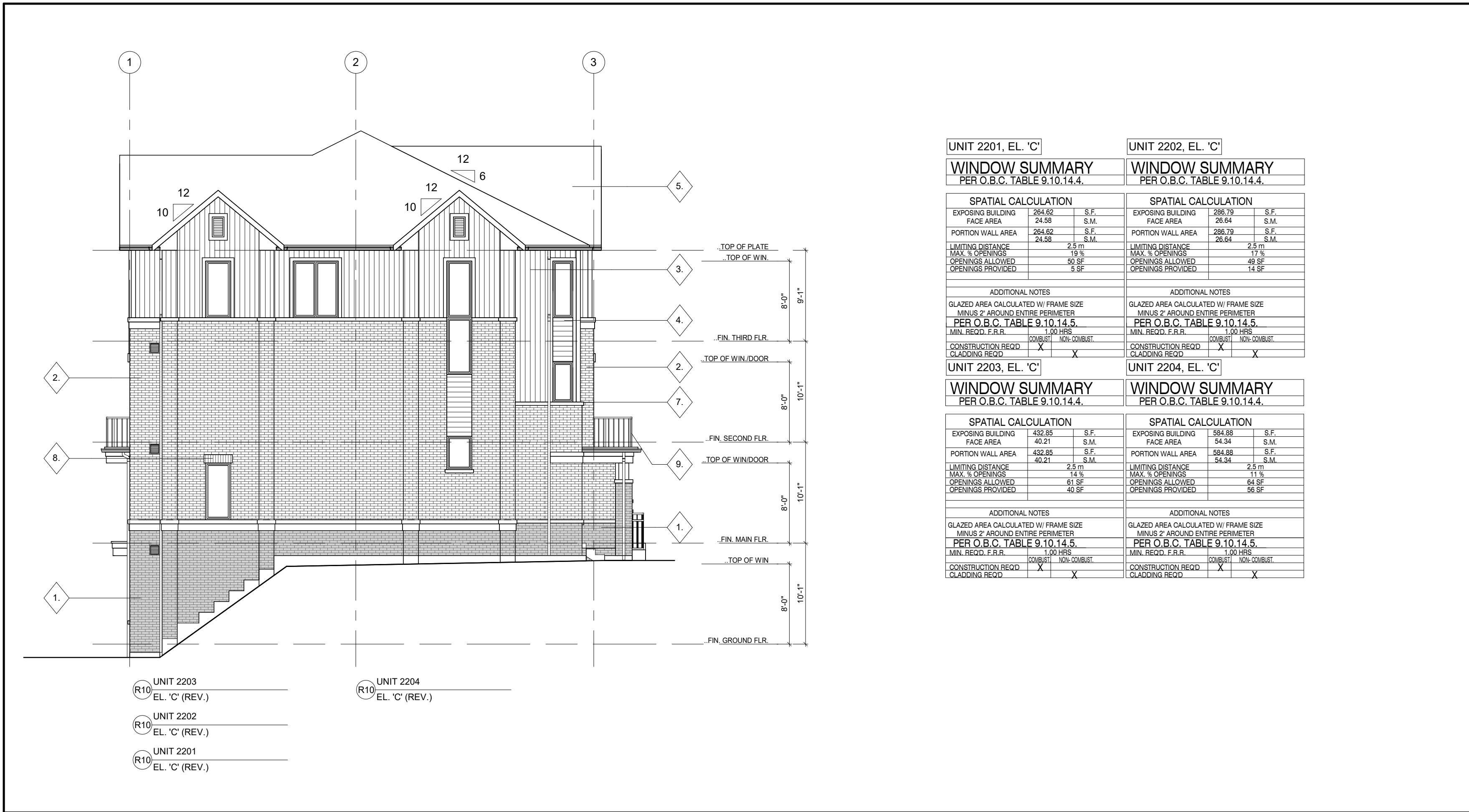
**Vertical Dimensions (Right Side):**

- 10'-1" (8'-0") FIN. GROUND FLR. to TOP OF WIN.
- 10'-1" (8'-0") TOP OF WIN. to FIN. MAIN FLR.
- 10'-1" (8'-0") FIN. MAIN FLR. to TOP OF WINDOOR.
- 10'-1" (8'-0") TOP OF WINDOOR to FIN. SECOND FLR.
- 10'-1" (8'-0") FIN. SECOND FLR. to TOP OF WIN. DOOR.
- 9'-1" (8'-0") TOP OF WIN. DOOR to FIN. THIRD FLR.
- 9'-1" (8'-0") FIN. THIRD FLR. to TOP OF PLATE.

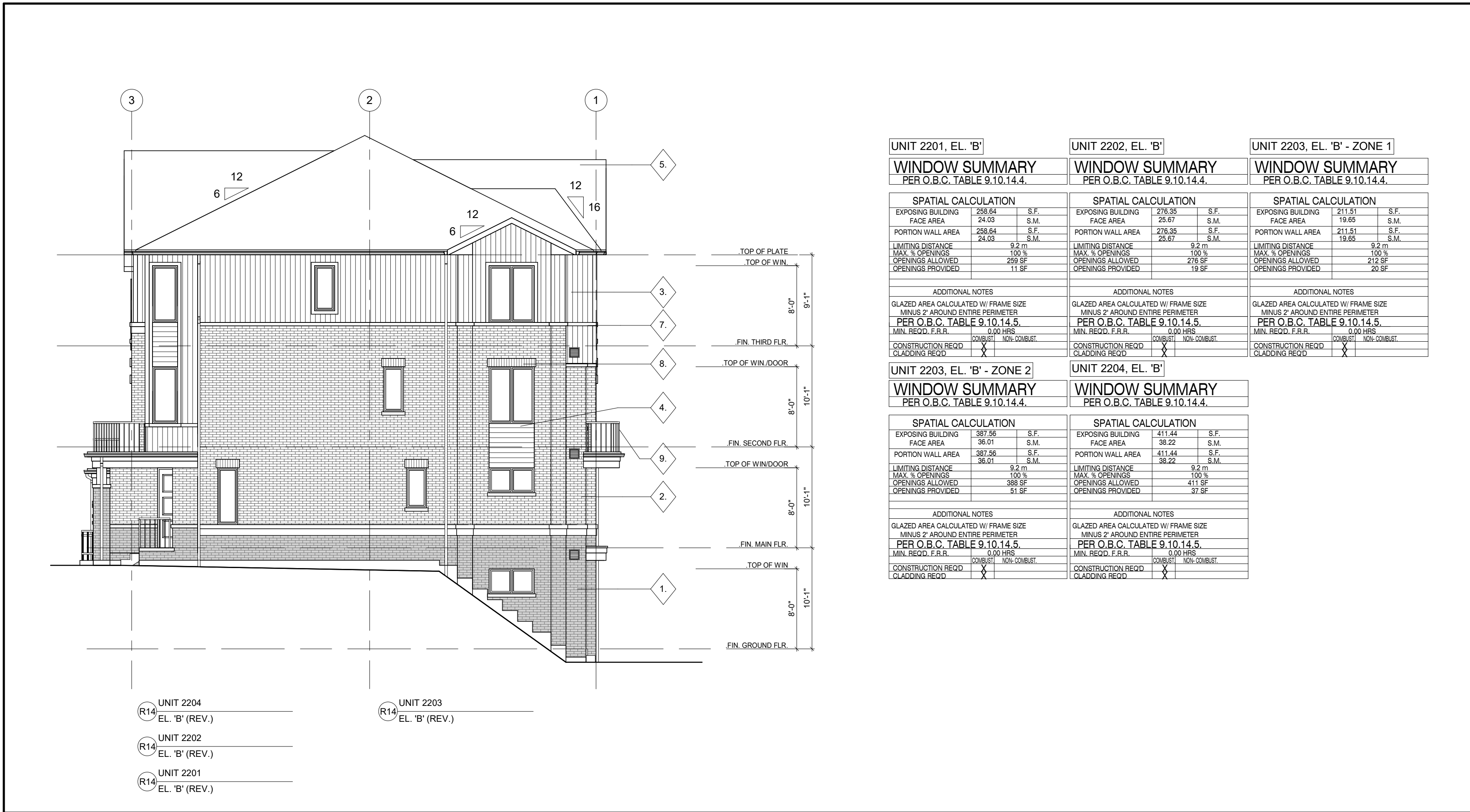
**Legend:**

Callout	Unit	Elevation Level
R14	UNIT 2203	EL. 'B' (REV.)
R14	UNIT 2202	EL. 'B' (REV.)
R14	UNIT 2201	EL. 'B' (REV.)
R13	UNIT 2203	EL. 'A'
R13	UNIT 2202	EL. 'A'
R13	UNIT 2201	EL. 'A'
R12	UNIT 2203	EL. 'A' (REV.)
R12	UNIT 2202	EL. 'A' (REV.)
R12	UNIT 2201	EL. 'A' (REV.)
R12	UNIT 2203	EL. 'A'
R12	UNIT 2202	EL. 'A'
R12	UNIT 2201	EL. 'A'
R11	UNIT 2203	EL. 'C' (REV.)
R11	UNIT 2202	EL. 'C' (REV.)
R11	UNIT 2201	EL. 'C' (REV.)

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2 LEFT SIDE ELEVATION.  
1/8" = 1'-0"



1 RIGHT SIDE ELEVATION.  
1/8" = 1'-0"

APPLICATION NUMBER:

APPLICATION NUMBER:

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MATERIAL LEGEND

- 1 BRICK VENEER 1
- 2 BRICK VENEER 2
- 3 VERTICAL SIDING
- 4 HORIZONTAL SIDING
- 5 ASPHALT SHINGLES
- 6 ALUMINUM FRIEZE BOARD
- 7 PRECAST CONC. SILL / BANDING
- 8 BRICK SOLDIER COURSE
- 9 ALUMINIUM RAILING
- 10 PRIVACY SCREEN

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1	ISSUED FOR SPA SUBMISSION	2021.09.13	SL
No.	Description	YYYY.MM.DD	By

CLIENT: MARSHALL HOMES

NORTH: STAMP:

4 ARCHITECTURE INC.  
WWW.4ARCHITECTURE.CA  
8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7  
T: (905) 470 7212 / F: (905) 737 7326 email: mail@4architecture.ca

MARSHALL HOMES - 220082  
COBOURG, ON  
ELEVATIONS

2021.09.13  
1/8" = 1'-0"  
Drawn By: HM  
Checked By: SL

B10-5



## BUILDING 11

Firm Name: 4 ARCHITECTURE INC. Address: 8966 Woodbine Avenue, Suite 300 Markham, ON L3R 0J7 T.905.470.7121 / F.905.737.7326 / email : mail@4architecture.ca Certificate of Practice Number: - Name of Project: Marshall Homes Project Location: Cobourg, Ontario		The architect noted above has exercised responsible control with respect to design activities. The architect's seal number is the architect's BCIN as required under the Building Code Designation System.											
Item	Ontario Building Code	Building Code Reference											
Data Matrix Part 3 or 9		References are to Division B unless noted [A] for Division A or [C] for Division C.											
1	Project Description: <input type="checkbox"/> Change of Use <input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Alteration	Part 3 1.1.2. [A] Part 9 1.1.2. [A] & 9.10.1.3.											
2	Major Occupancy(s) Group C (Residential)	3.1.2.1.(1) 9.10.2.											
3	Building Area (m2) Existing 0 sq. m. New 488 m2 Total 488 m2	1.4.1.2. [A] 1.4.1.2. [A] 1.4.1.2. [A]											
4	Gross Area Existing 0 sq. m. New 1861 m2 Total 1861 m2	1.4.1.2. [A] 1.4.1.2. [A] 1.4.1.2. [A]											
5	Number of Storeys Above Grade 3 Below Grade 1	1.4.1.2. [A] & 3.2.1.1. 1.4.1.2. [A] & 9.10.4											
6	Height of Building (m) 12.47 m	3.2.2.10. & 3.2.5. 9.10.20											
7	Number of Streets / Fire Fighter Access 3	3.2.2.20. - 83 9.10.2.											
8	Building Classification GROUP C (RESIDENTIAL)	3.2.2.20. - 83 9.10.2.											
9	Sprinkler System Proposed <input type="checkbox"/> Entire Building <input type="checkbox"/> Selected Compartments <input type="checkbox"/> Selected Floor Areas <input type="checkbox"/> Basement <input type="checkbox"/> In Lieu of Roof Rating <input type="checkbox"/> Not Required	3.2.2.20. - 83 3.2.1.5. INDEX 3.2.1.5. INDEX											
10	Standpipe required <input type="checkbox"/> Yes <input type="checkbox"/> No	3.2.9. N/A											
11	Fire Alarm required <input type="checkbox"/> Yes <input type="checkbox"/> No	3.2.4. 9.10.18.											
12	Water Service / Supply is Adequate <input type="checkbox"/> Yes <input type="checkbox"/> No	3.2.5.7. N/A											
13	High Building <input type="checkbox"/> Yes <input type="checkbox"/> No	3.2.6. N/A											
14	Permitted Construction Actual Construction <input type="checkbox"/> Combustible permitted <input type="checkbox"/> Combustible <input type="checkbox"/> Non-Combustible Required <input type="checkbox"/> Non-Combustible <input type="checkbox"/> Both	3.2.2.20. - 83 9.10.6.											
15	Mezzanine(s) Area m2 N/A	3.2.1.1.(3)_(8) 9.10.4.1											
16	Occupant load based on <input type="checkbox"/> m2 / person <input checked="" type="checkbox"/> Design of Building	3.1.17. 9.9.1.3.											
Total Occupant Load Ground Floor: OCCUPANCY: 20 Main Floor: OCCUPANCY: 20 Second Floor: OCCUPANCY: 20 Third Floor: OCCUPANCY: 40 Residential occupancies are based on 2 persons per bedroom for each dwelling unit Total: 80 persons													
17	Barrier Free Design <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Explain)	3.8.1.1 9.5.2.											
18	Hazardous Substances <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.3.1.2. & 3.3.1.19. 9.10.1.3.(4)											
19	Required Fire Resistance Rating (FRR) Horizontal Assemblies FRR (Hours) Floors 1 HR bit Unit; 0.75 HR within Unit Roof NO RATING REQ'D Mezzanine N/A FRR of Supporting Members Floors 1 HR bit Unit; 0.75 HR within Unit Roof NO RATING REQ'D Mezzanine N/A	Listed Design No. or Description (SB-2) 3.2.2.20. - 83 & 3.2.1.4 9.10.8. 9.10.9.											
20	Spatial Separation - Construction of Exterior Walls	3.2.3. 9.10.14.											
FRONT	WALL	Area of EBF (m²)	L.D. (m)	L/H or H/L	Permitted Max % of Openings	Proposed % of Openings	FRR (Hours)	Listed Design or Description	Comb. Const.	Comb. Clad.	Non-Comb. Clad.	Non-Comb. Const.	
R15	2201 C	8.21	13.59	N/A	100%	30%	0 HR	N/A	YES	YES			
R15	2202 C	12.59	13.59	N/A	100%	53%	0 HR	N/A	YES	YES			
R15	2203 C	5.16	13.59	N/A	100%	43%	0 HR	N/A	YES	YES			
R15	2204 C	45.06	13.59	N/A	100%	38%	0 HR	N/A	YES	YES			
R16	2201 A	8.21	13.59	N/A	100%	30%	0 HR	N/A	YES	YES			
R16	2202 A	12.59	13.59	N/A	100%	53%	0 HR	N/A	YES	YES			
R16	2203 A	4.26	13.59	N/A	100%	52%	0 HR	N/A	YES	YES			
R16	2204 A	43.22	13.59	N/A	100%	37%	0 HR	N/A	YES	YES			
R17	2201 A	8.21	13.59	N/A	100%	30%	0 HR	N/A	YES	YES			
R17	2202 A	12.59	13.59	N/A	100%	53%	0 HR	N/A	YES	YES			
R17	2203 A	4.26	13.59	N/A	100%	52%	0 HR	N/A	YES	YES			
R17	2204 A	43.22	13.59	N/A	100%	37%	0 HR	N/A	YES	YES			
R18	2201 A	8.21	13.59	N/A	100%	30%	0 HR	N/A	YES	YES			
R18	2202 A	12.59	13.59	N/A	100%	53%	0 HR	N/A	YES	YES			
R18	2203 A	4.26	13.59	N/A	100%	52%	0 HR	N/A	YES	YES			
R18	2204 A	43.22	13.59	N/A	100%	37%	0 HR	N/A	YES	YES			
R19	2201 B	8.18	13.59	N/A	100%	30%	0 HR	N/A	YES	YES			
R19	2202 B	12.49	13.59	N/A	100%	53%	0 HR	N/A	YES	YES			
R19	2203 B	4.06	13.59	N/A	100%	55%	0 HR	N/A	YES	YES			
R19	2204 B	45.72	13.59	N/A	100%	38%	0 HR	N/A	YES	YES			
REAR	R19	2201 B	37.49	37.49	N/A	100%	33%	0 HR	N/A	YES	YES		
R19	2202 B	21.47	37.49	N/A	100%	30%	0 HR	N/A	YES	YES			
R19	2203 B	40.81	37.49	N/A	100%	41%	0 HR	N/A	YES	YES			
R18	2201 A	22.53	37.49	N/A	100%	33%	0 HR	N/A	YES	YES			
R18	2202 A	21.47	37.49	N/A	100%	30%	0 HR	N/A	YES	YES			
R18	2203 A	40.81	37.49	N/A	100%	41%	0 HR	N/A	YES	YES			
R17	2201 A	22.53	9.21	N/A	100%	33%	0 HR	N/A	YES	YES			
R17	2202 A	21.47	9.21	N/A	100%	30%	0 HR	N/A	YES	YES			
R17	2203 A	40.81	9.21	N/A	100%	41%	0 HR	N/A	YES	YES			
R16	2201 A	22.53	9.21	N/A	100%	33%	0 HR	N/A	YES	YES			
R16	2202 A	21.47	9.21	N/A	100%	30%	0 HR	N/A	YES	YES			
R16	2203 A	40.81	9.21	N/A	100%	41%	0 HR	N/A	YES	YES			
R15	2201 C	22.53	9.21	N/A	100%	33%	0 HR	N/A	YES	YES			
R15	2202 C	21.47	9.21	N/A	100%	30%	0 HR	N/A	YES	YES			
R15	2203 C	41.07	9.21	N/A	100%	41%	0 HR	N/A	YES	YES			
LEFT	R15	2201 C	24.58	9.4	N/A	100%	2%	0 HR	N/A	YES	YES		
R15	2202 C	26.64	9.4	N/A	100%	5%	0 HR	N/A	YES	YES			
R15	2203 C	40.21	9.4	N/A	100%	9%	0 HR	N/A	YES	YES			
R15	2204 C	54.34	9.4	N/A	56%	10%	0.75 HR	N/A	YES	YES			
RIGHT	R19	2201 B	24.03	9.4	N/A	19%	4%	1 HR	N/A	YES	YES	YES	
R19	2202 B	26.67	2.5	N/A	17%	7%	1 HR	N/A	YES	YES	YES	YES	
R19	2203 B - Z1	19.65	2.5	N/A	21%	10%	1 HR	N/A	YES	YES	YES	YES	
R19	2203 B - Z2	36.01	2.5	N/A	15%	13%	1 HR	N/A	YES	YES	YES	YES	
R19	2204 B	38.22	2.5	N/A	15%	9%	1 HR	N/A	YES	YES	YES	YES	
21	Washroom Fixtures = 1 MIN. per Suite	Explain: Public Stairs: Rise = 180mm max. Run = 280mm max. Private Stairs: Rise = 200mm max. Run = 210mm min.		9.3.1.1/9.3.1.4									
22	Means of Egress, Access to Exits & Exit Analysis			9.9									

2 MAIN FLOOR PLAN  
1/8" = 1'-0"1 GROUND FLOOR PLAN  
1/8" = 1'-0"

B11-1

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APPLICATION NUMBER:

APPLICATION NUMBER:

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--- FIRE SEPARATION: 45 MIN. FRR  
- - - FIRE SEPARATION: 1.0 HR FRR  
... FIRE SEPARATION: 2.0 HR FRR

GROSS FLOOR AREA 1861.31 sq.m. (20035 sq.ft.)

GROUND FLOOR AREA 487.00 sq.m. (5242 sq.ft.)

MAIN FLOOR AREA 450.86 sq.m. (4853 sq.ft.)

SECOND FLOOR AREA 466.84 sq.m. (5025 sq.ft.)

THIRD FLOOR AREA 465.91 sq.m. (5015 sq.ft.)

BUILDING AREA 488.39 sq.m. (5257 sq.ft.)

A FIREWALL IS REQUIRED IF THE BUILDING AREA IS GREATER THAN 800 m2 (8458 sq ft) AS PER BUILDING CODE PART 9 LIMITATIONS SECTION 1.1.2.4.(1) DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2. IS THE EXTENT OF THE GREATEST HORIZONTAL BUILDING EXTERIOR WALLS ABOVE GRADE TO IF REQ'D THE CENTER OF THE FIREWALL (DEMISING LINE)

BUILDING AREA CALCULATION FOR FIREWALLS AS PER O.B.C. PART 1 SECTION 1.1.2.4.(1), PART 3.1. &amp; 9.10.

BUILDING AREA SEPERATED BY FIREWALL

N/A 0.00 sq.m. (0 sq.ft.)

N/A 0.00 sq.m. (0 sq.ft.)

REVISIONS

SUBMITTALS

1. ISSUED FOR SPA SUBMISSION 2021.09.13 SL

No. Description YYYY.MM.DD By

CLIENT: MARSHALL HOMES

NORTH PROJECT NORTH TRUE NORTH N

4 ARCHITECTURE INC.

8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7

T. (905) 470 7212 / F. (905) 737 7326 email: mail@4architecture.ca

MARSHALL HOMES - 220082

COBOURG, ON

FLOOR PLANS

BUILDING 11

2021.09.13

As indicated

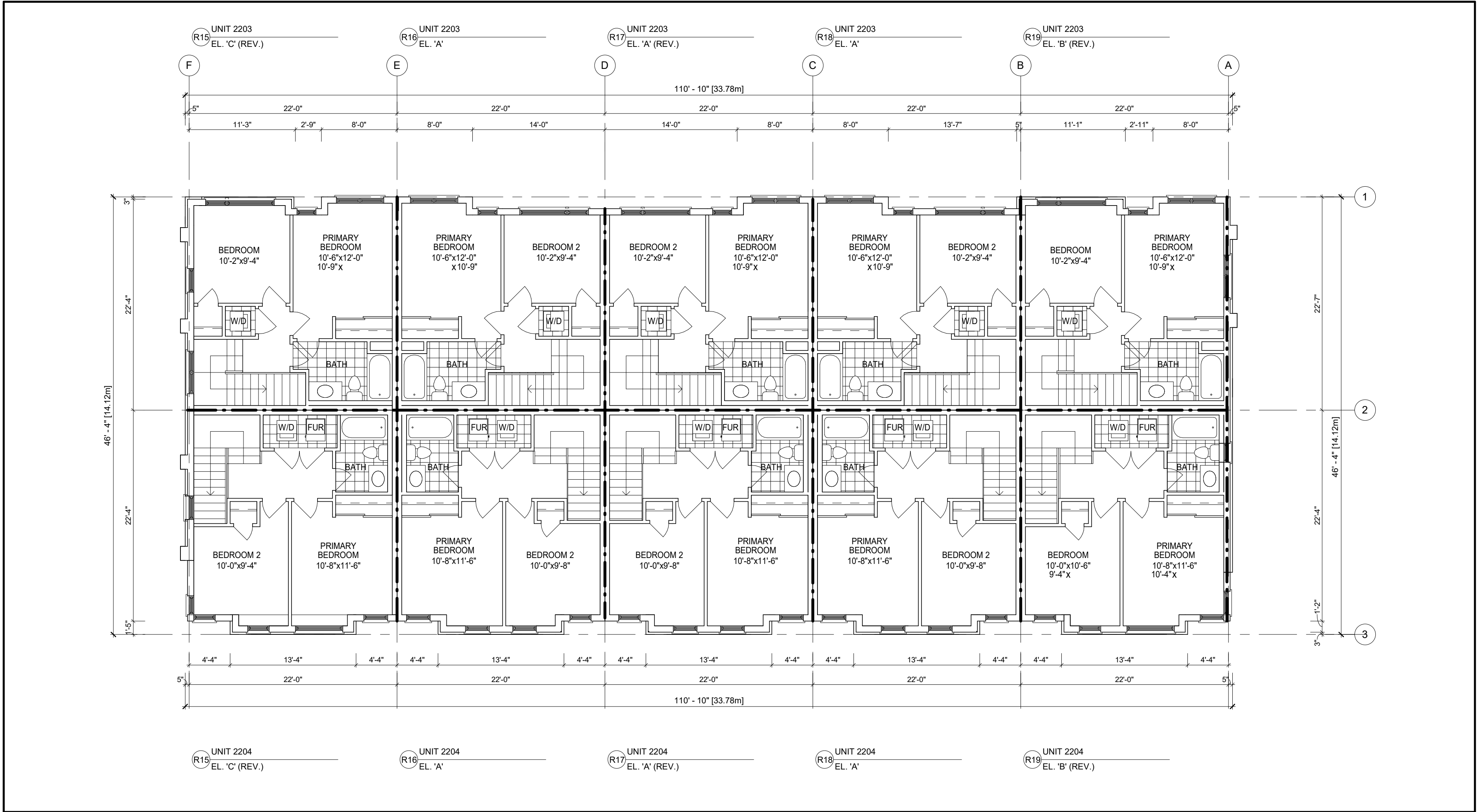
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Checked By SL

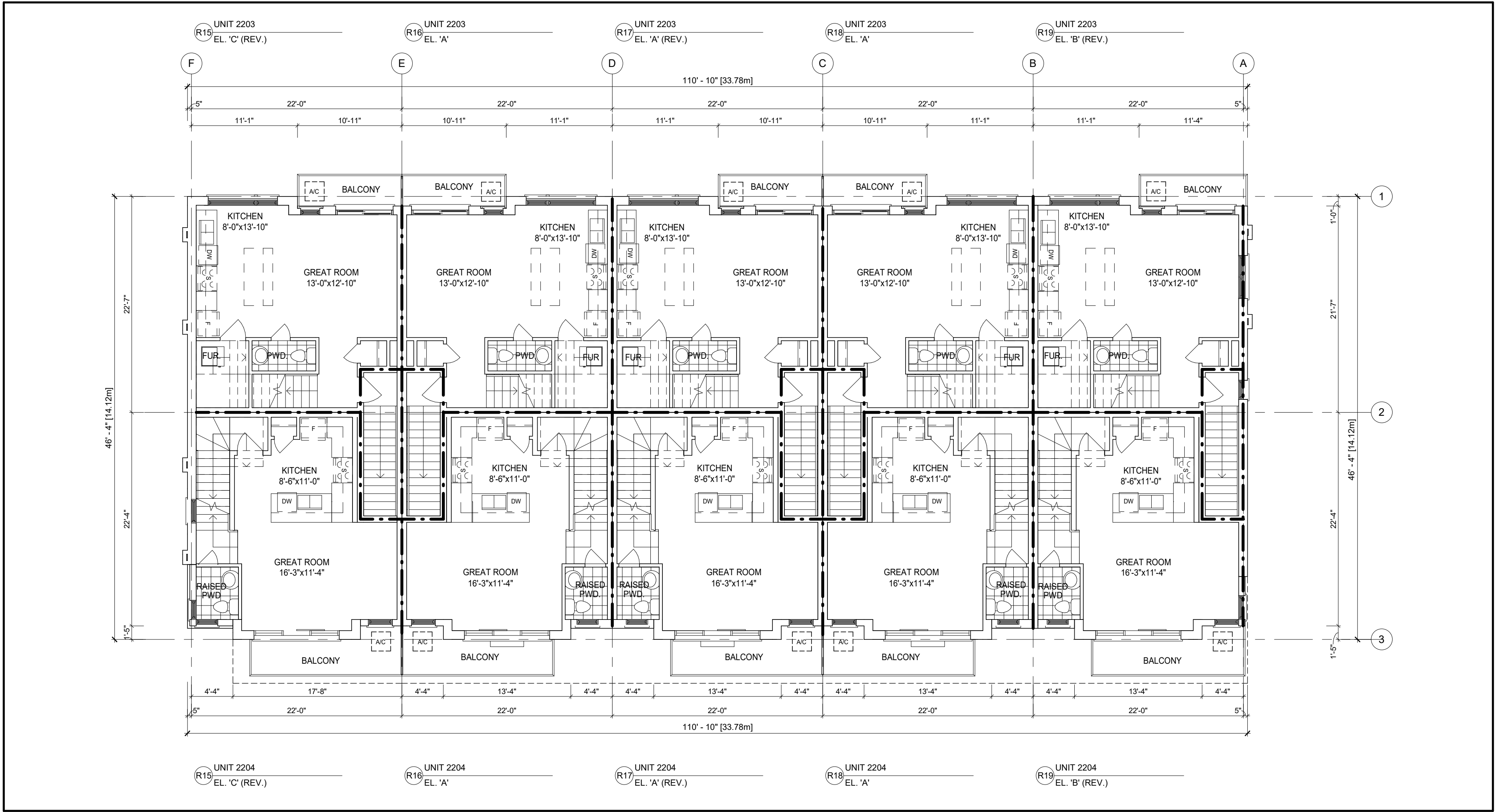
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B11-1





2 THIRD FLOOR PLAN  
1/8" = 1'-0"



1 SECOND FLOOR PLAN  
1/8" = 1'-0"

APPLICATION NUMBER:

APPLICATION NUMBER:

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LEGEND

- FIRE SEPARATION: 45 MIN. FRR
- . - FIRE SEPARATION: 1.0 HR FRR
- - - FIRE SEPARATION: 2.0 HR FRR

**GROSS FLOOR AREA** 1861.31 sq.m. (20035 sq.ft.)

GROUND FLOOR AREA 487.00 sq.m. (5242 sq.ft.)

MAIN FLOOR AREA 450.86 sq.m. (4853 sq.ft.)

SECOND FLOOR AREA 466.84 sq.m. (5025 sq.ft.)

THIRD FLOOR AREA 465.91 sq.m. (5015 sq.ft.)

**BUILDING AREA** 488.39 sq.m. (5257 sq.ft.)

A FIREWALL IS REQUIRED IF THE BUILDING AREA IS GREATER THAN 800 m<sup>2</sup> (8458 sq ft) AS PER BUILDING CODE PART 9 LIMITATIONS SECTION 1.1.2.4 (1)  
DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2. IS THE EXTENT OF THE GREATEST HORIZONTAL BUILDING EXTERIOR WALLS ABOVE GRADE TO IF REQ'D THE CENTER OF THE FIREWALL (DEMISING LINE)

BUILDING AREA CALCULATION FOR FIREWALLS AS PER O.B.C. PART 1 SECTION 1.1.2.4.(1), PART 3.1. & 9.10.

**BUILDING AREA SEPERATED BY FIREWALL**

N/A 0.00 sq.m. (0 sq.ft.)

N/A 0.00 sq.m. (0 sq.ft.)

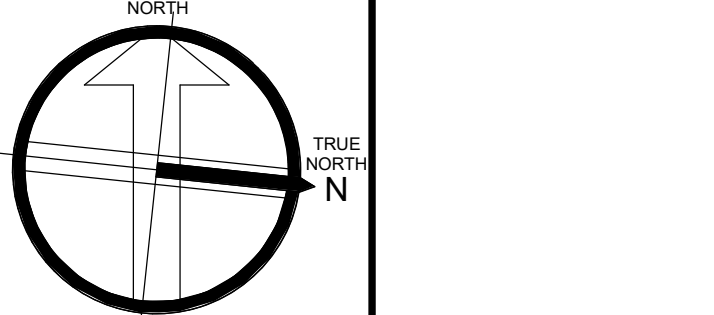
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CLIENT: MARSHALL HOMES



**4 ARCHITECTURE INC.**  
www.4architecture.ca  
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T: (905) 470 7212 / F: (905) 737 7326 email: mail@4architecture.ca

**MARSHALL HOMES - 220082**  
COBOURG, ON

**FLOOR PLANS**  
**BUILDING 11**

2021.09.13

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220082DS\_BLDG 11\_TYPE C.rvt

**B11-2**



APPLICATION NUMBER:

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LEGEND

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FIRE SEPARATION: 45 MIN. FRR

- . - . -

FIRE SEPARATION: 1.0 HR FRR

- . . - -

FIRE SEPARATION: 2.0 HR FRR

<b>GROSS FLOOR AREA</b>	<b>1861.31 sq.m.</b> <b>(20035 sq.ft.)</b>
GROUND FLOOR AREA	487.00 sq.m. (5242 sq.ft.)
MAIN FLOOR AREA	450.86 sq.m. (4853 sq.ft.)
SECOND FLOOR AREA	466.84 sq.m. (5025 sq.ft.)
THIRD FLOOR AREA	465.91 sq.m. (5015 sq.ft.)
<b>BUILDING AREA</b>	<b>488.39 sq.m.(5257 sq.ft.)</b>

A FIREWALL IS REQUIRED IF THE BUILDING AREA IS GREATER THAN 600 m2 (6458 sq ft) AS PER BUILDING CODE PART 9 LIMITATIONS SECTION 1.1.2.4.(1)  
\*\* DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2, IS THE EXTENT OF THE GREATEST HORIZONTAL BUILDING EXTERIOR WALLS ABOVE GRADE TO IF REQ'D THE CENTER OF THE FIREWALL (DEMISING LINE)

BUILDING AREA CALCULATION FOR FIREWALLS AS PER O.B.C. PART 1 SECTION 1.1.2.4.(1), PART 3.1. & 9.10.		
<b>BUILDING AREA SEPERATED BY FIREWALL</b>		
N/A	0.00 sq.m.	(0 sq.ft.)
N/A	0.00 sq.m.	(0 sq.ft.)

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1. ISSUED FOR SPA SUBMISSION 2021.09.13 SL		
No.	Description	YYYY.MM.DD By.

CLIENT:

MARSHALL HOMES

NORTH:

PROJECT NORTH

TRUE NORTH

N

STAMP:

4 ARCHITECTURE INC

www.4architecture.ca

8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7  
T: (905) 470 7212 / F: (905) 737 7326 email: mail@4architecture.ca

MARSHALL HOMES - 220082

COBOURG, ON

ROOF PLANS

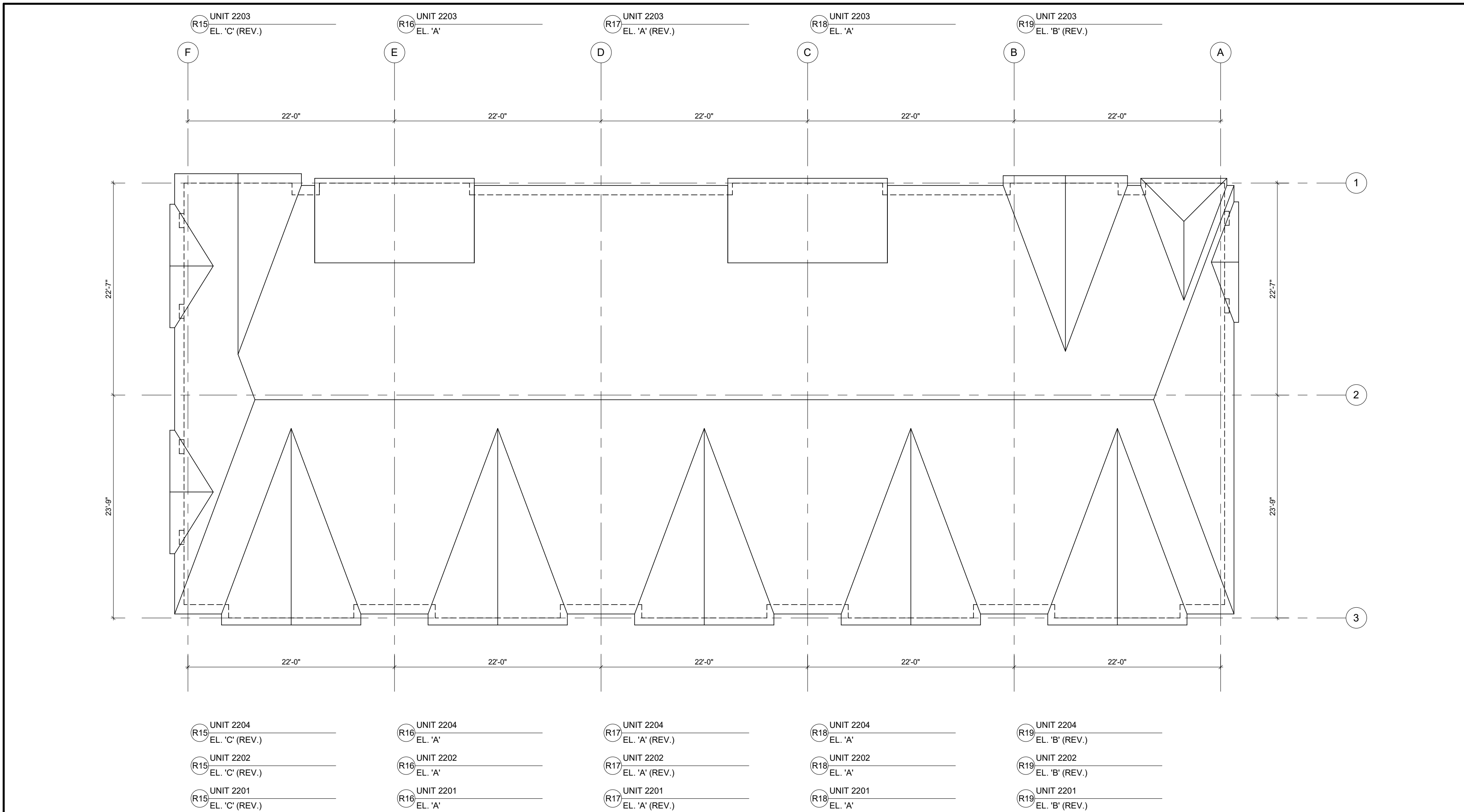
BUILDING 11

2021.09.13

As indicated PS SL

220082DS\_BLDG 11\_TYPE C.rvt

B11-3



2 ROOF PLAN  
B11-3  
1/8" = 1'-0"

EXTERIOR COLOUR SELECTION	MANUFACTURER	1 Std. Towns	2 RL Towns	3 Stacked Towns
Roof	BP Mystique	2-Tone Black	2-Tone Black	2-Tone Black
Soffit, Eavestroughs, RWL and Frieze Board	Giancola Aluminum	Slate	Iron Ore	Slate
Brick 1 (Base Brick)	Meridian Brick	Portland	Vanier	Vanier
Brick 2 (Upper Brick)	Meridian Brick	Kelowna	Portland	Kelowna
Vinyl Siding, (including corner trim & capping)	Mitten	Stratus	White	Stratus
Non-combustible Siding Where required	James Hardie	colour to match Vinyl Siding		
Front Door & Garage Door	Sherwin Williams	Perle Noir SW 9154	Perle Noir SW 9154	Perle Noir SW 9154
Prefinished Exterior Trim, Panels, Exterior Posts & Door Frame	Sherwin Williams	Popular Gray SW6071	Popular Gray SW6071	Popular Gray SW6071
Windows	Newmar	Black	Black	Black
Railings	Airport Railing	Black	Black	Black



2 FRONT ELEVATION  
1/8" = 1'-0"



1 REAR ELEVATION  
1/8" = 1'-0"

APPLICATION NUMBER:

APPLICATION NUMBER:

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**MATERIAL LEGEND**

- 1 BRICK VENEER 1
- 2 BRICK VENEER 2
- 3 VERTICAL SIDING
- 4 HORIZONTAL SIDING
- 5 ASPHALT SHINGLES
- 6 ALUMINUM FRIEZE BOARD
- 7 PRECAST CONC. SILL / BANDING
- 8 BRICK SOLDIER COURSE
- 9 ALUMINIUM RAILING
- 10 PRIVACY SCREEN

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No. Description	YYYY.MM.DD	By

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NORTH:	STAMP:

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T: (905) 470 7212 / F: (905) 737 7326 email: mail@4architecture.ca

MARSHALL HOMES - 220082  
COBOURG, ON

ELEVATIONS  
BUILDING 11

2021.09.13  
1/8" = 1'-0" Drawn By PS Checked By SL

B11-4



APPLICATION NUMBER:

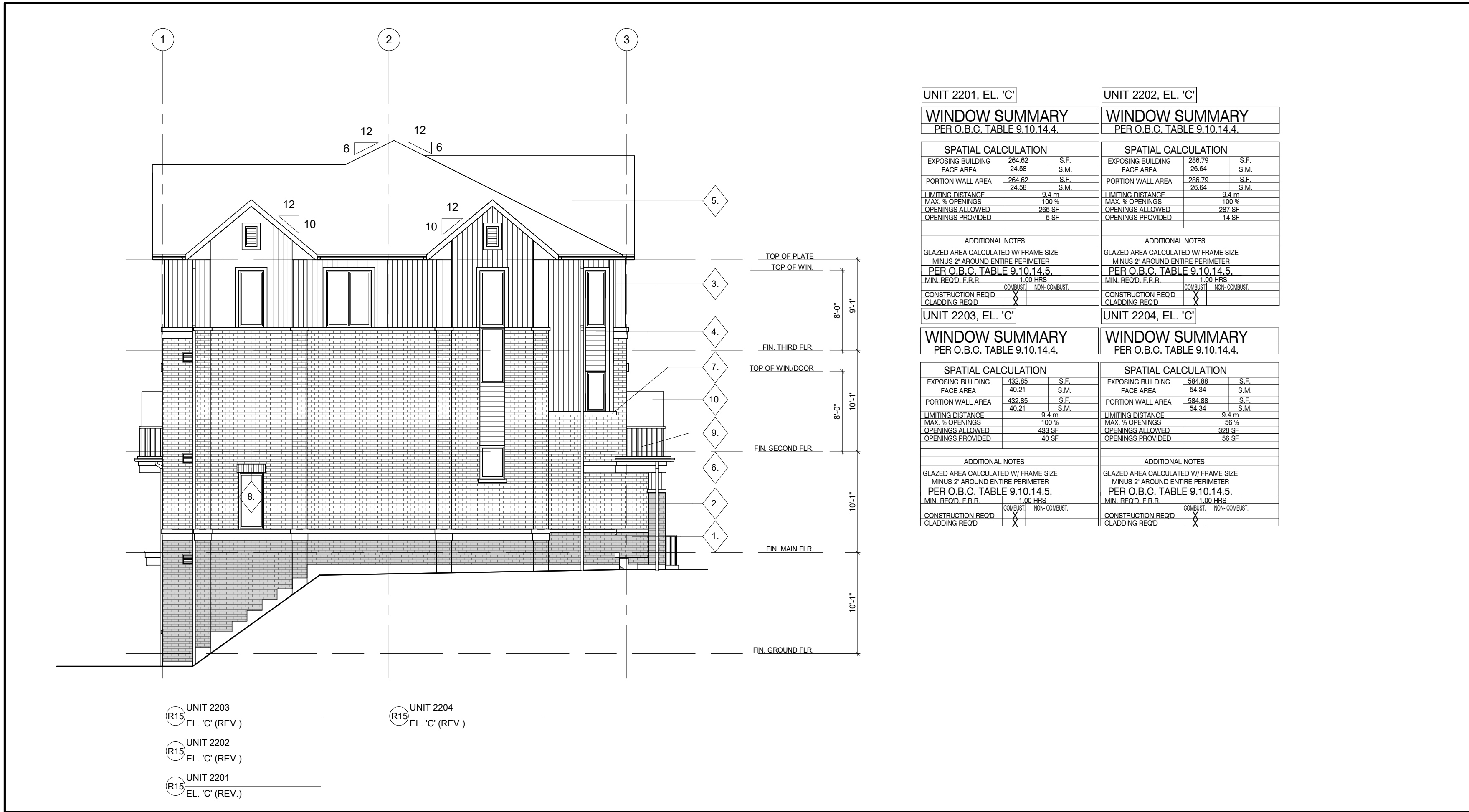
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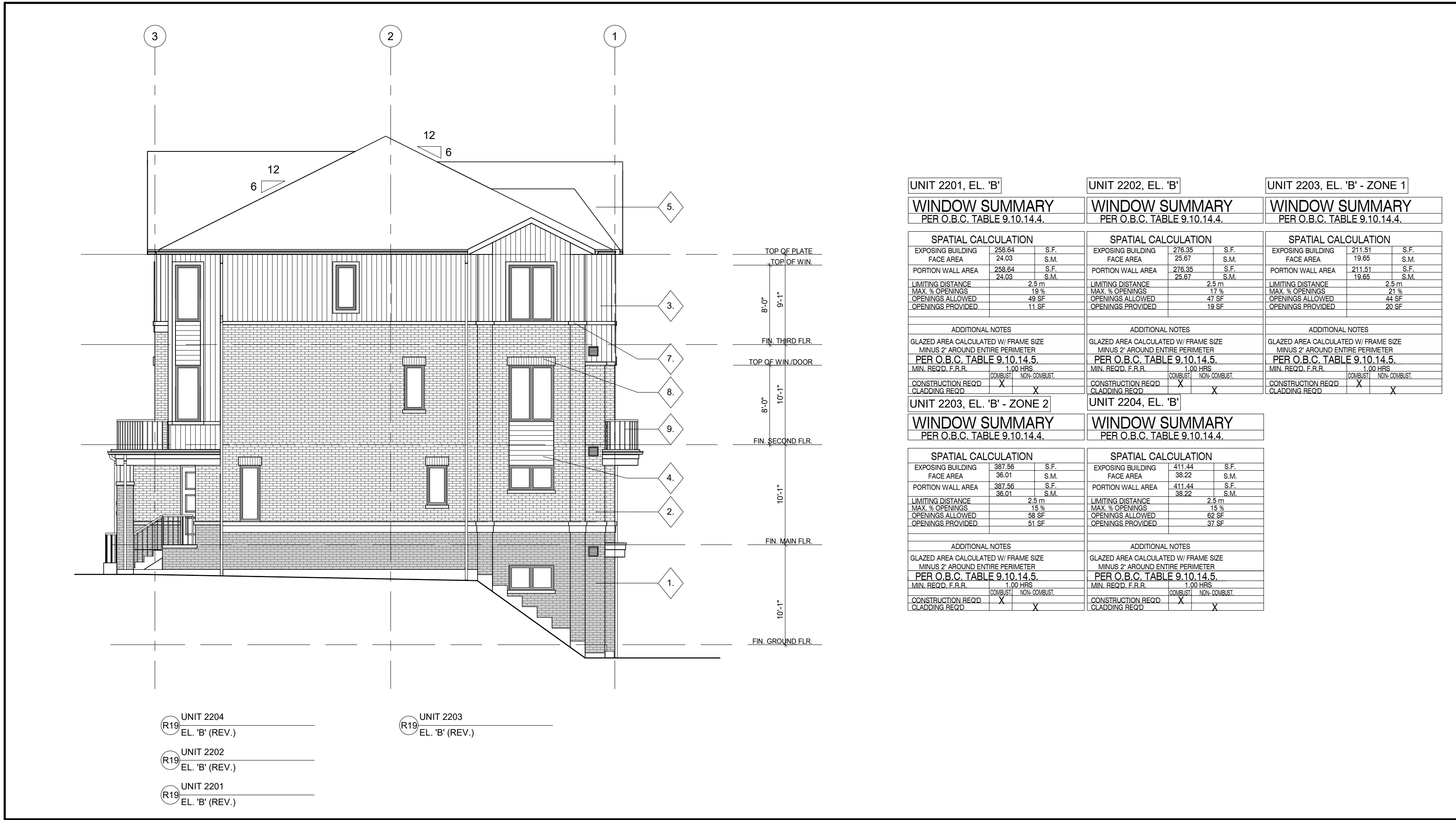
MATERIAL LEGEND

- BRICK VENEER 1
- BRICK VENEER 2
- VERTICAL SIDING
- HORIZONTAL SIDING
- ASPHALT SHINGLES
- ALUMINUM FRIEZE BOARD
- PRECAST CONC. SILL / BANDING
- BRICK SOLDIER COURSE
- ALUMINIUM RAILING

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2 LEFT SIDE ELEVATION  
1/8" = 1'-0"



1 RIGHT SIDE ELEVATION  
1/8" = 1'-0"

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1	ISSUED FOR SPA SUBMISSION	2021.09.13	SL
No.	Description	YYYY.MM.DD	By

CLIENT: MARSHALL HOMES

NORTH: STAMP:

4 ARCHITECTURE INC.  
8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7  
T: (905) 470 7212 / F: (905) 737 7326 email: mail@4architecture.ca

MARSHALL HOMES - 220082  
COBOURG, ON  
ELEVATIONS

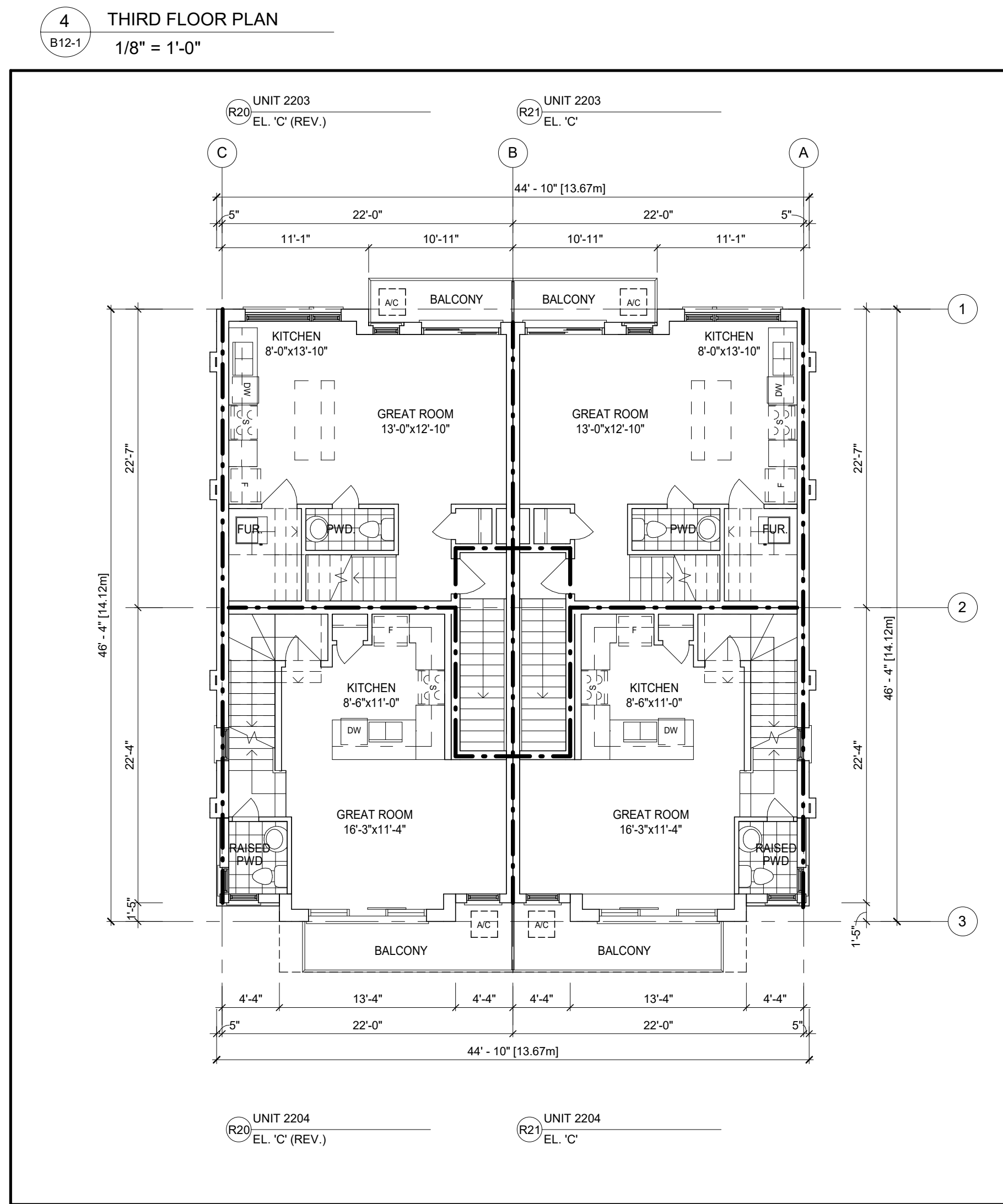
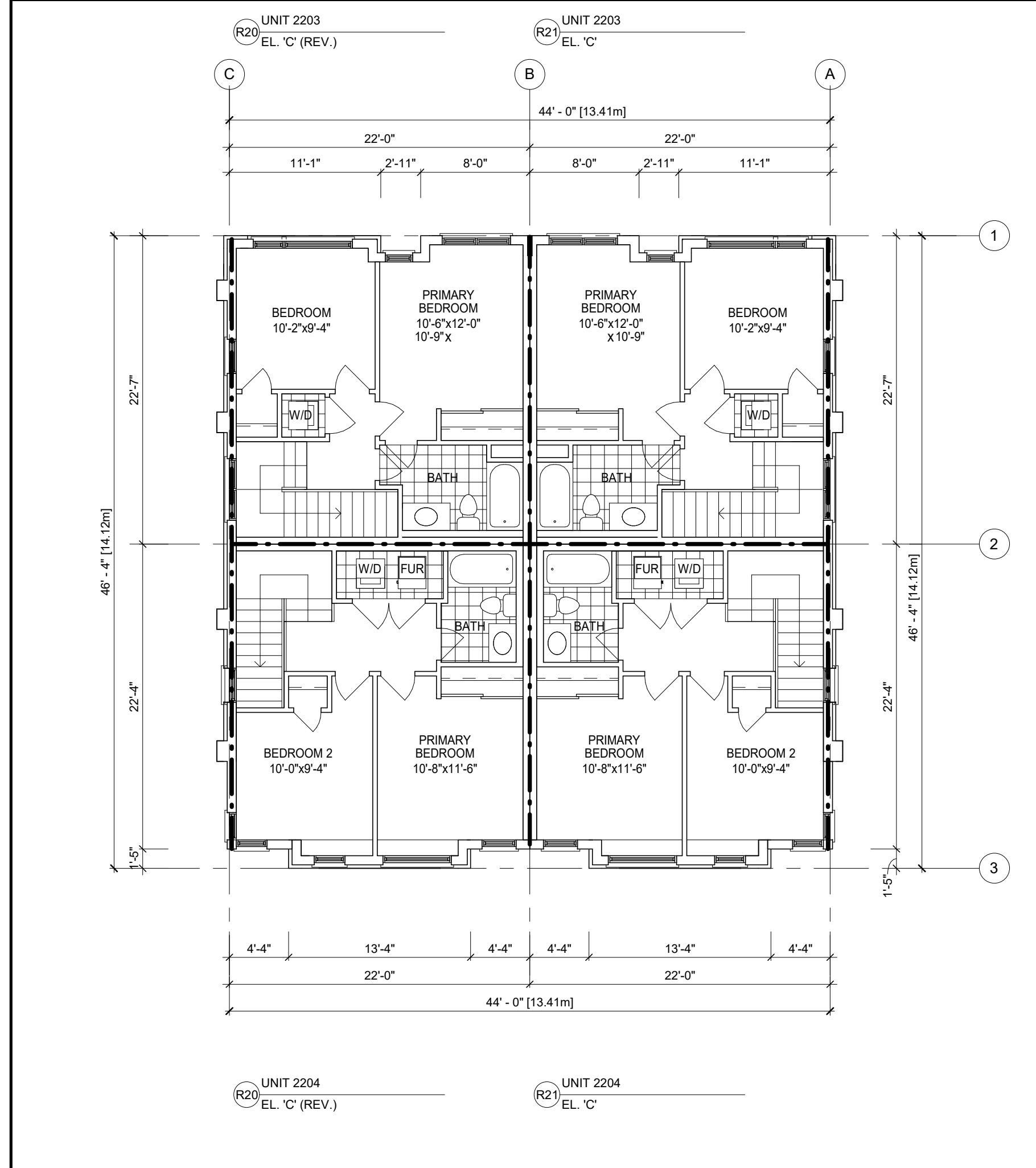
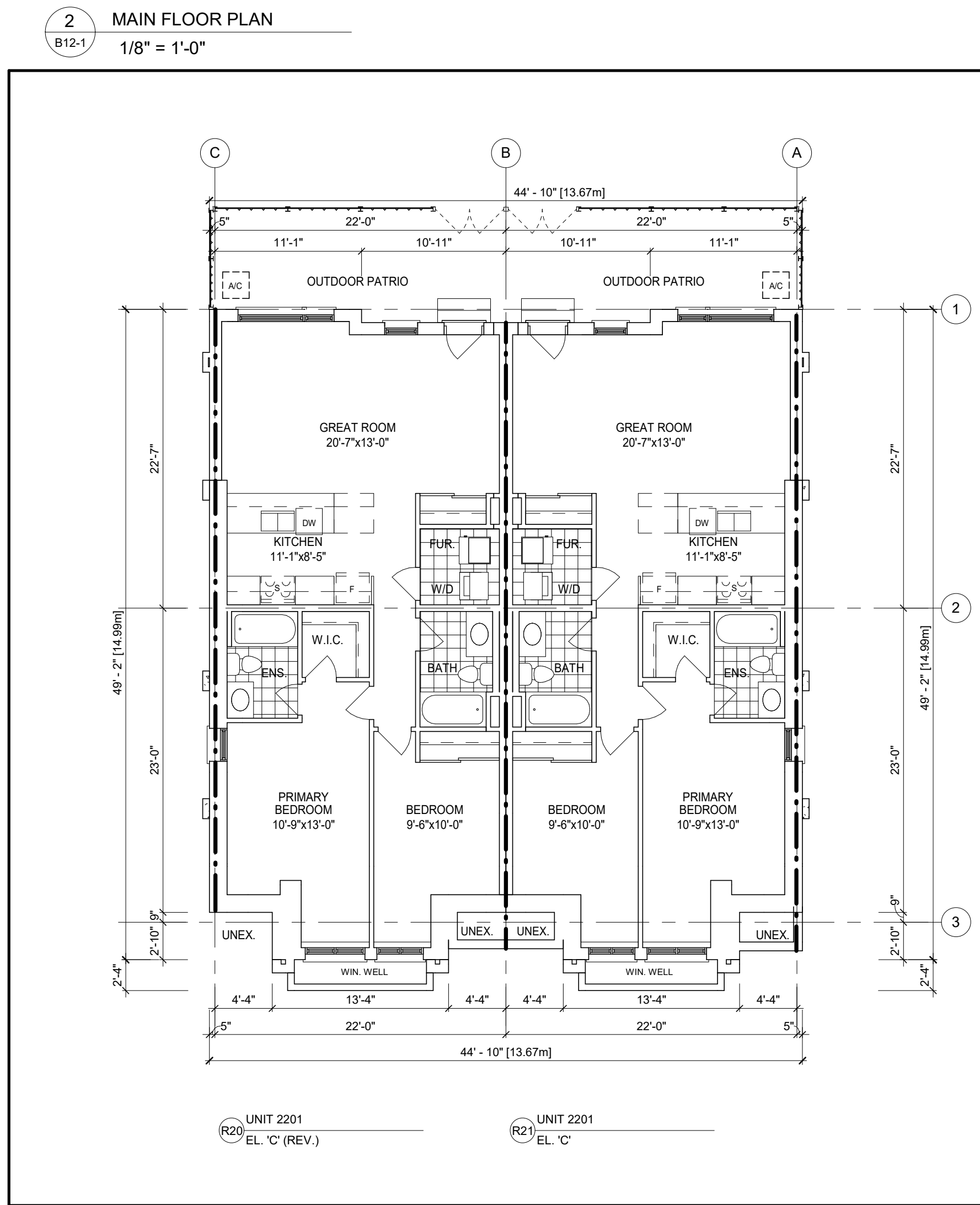
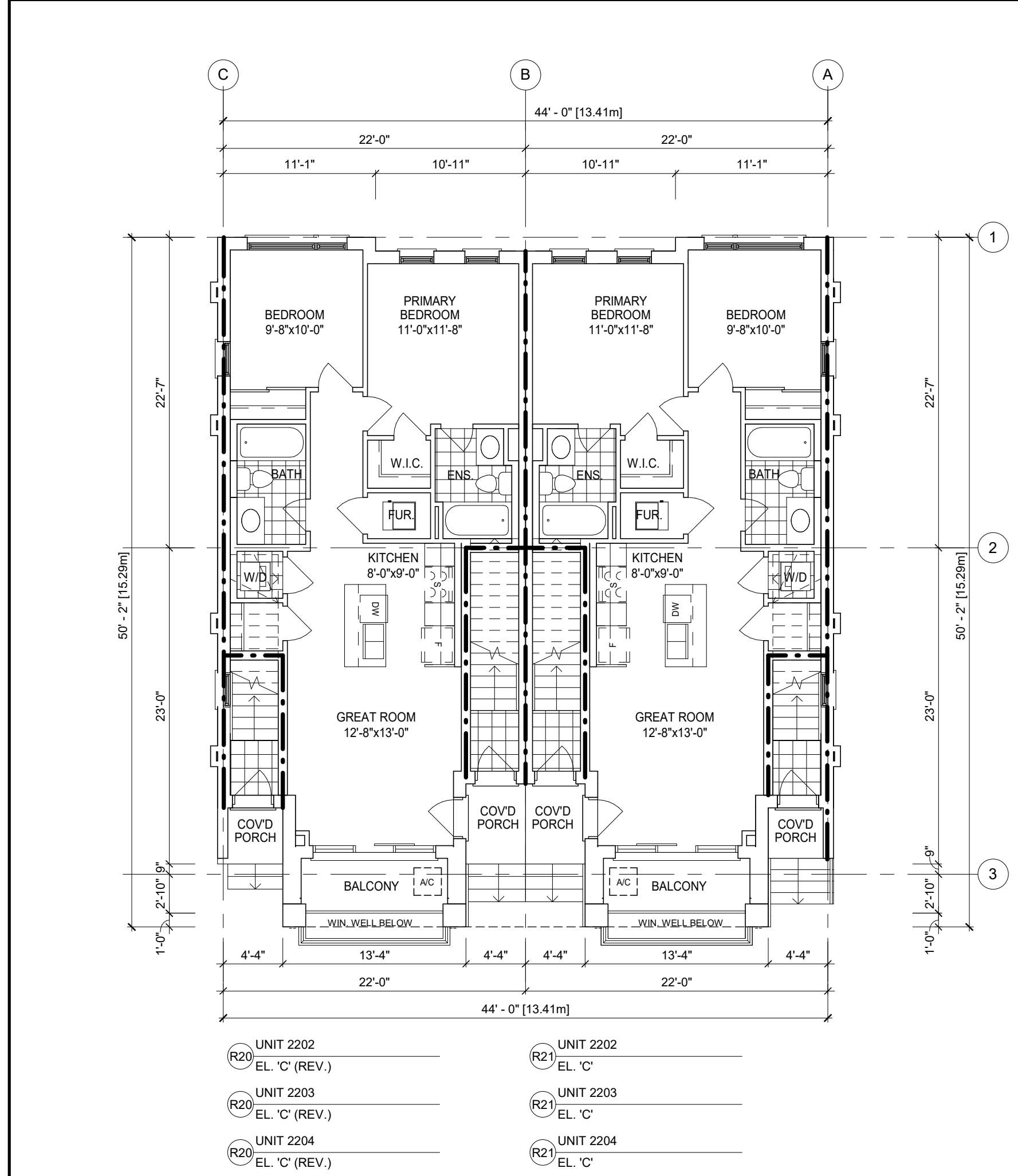
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B11-5



## BUILDING 12

Firm Name: 4 ARCHITECTURE INC. Address: 8966 Woodbine Avenue, Suite 300 Markham, ON L3R 0J7 T. 905.470.7121 / F. 905.737.7326 / email: mail@4architecture.ca		Certificate of Practice Number: The Certificate of Practice Number of Registered OAA Architect. Name of Project: Marshall Homes Project Location: Cobourg, Ontario		The architect noted above has exercised responsible control with respect to design activities. The architect's seal number is the architect's BCDN as required under the Building Code Designation System.		
Item	Ontario Building Code			Building Code Reference		
1	Project Description: <input type="checkbox"/> New <input type="checkbox"/> Part 11 <input type="checkbox"/> Addition <input type="checkbox"/> Alteration <input type="checkbox"/> Change of Use 11.1 to 11.4			References are to Division B unless noted [A] for Division A or [C] for Division C. 1.1.2. [A] 1.1.2. [A] & 9.10.1.3		
2	Major Occupancy(s) Group C (Residential)			3.1.2.1.(1) 9.10.2.		
3	Building Area (m2) Existing 0 sq. m. New 198 m2 Total 198 m2			1.4.1.2. [A] 1.4.1.2. [A]		
4	Gross Area Existing 0 sq. m. New 749 m2 Total 749 m2			1.4.1.2. [A] 1.4.1.2. [A]		
5	Number of Storeys Above Grade 3 Below Grade 1			1.4.1.2.[A]&3.2.1.1. 1.4.1.2.[A]&9.10.4		
6	Height of Building (m) 12.36 m					
7	Number of Streets / Fire Fighter Access 2			3.2.2.10.8.3.2.5. 9.10.20		
8	Building Classification Group C (RESIDENTIAL)			3.2.2.20.-83 9.10.2.		
9	Sprinkler System Proposed <input type="checkbox"/> Entire Building <input type="checkbox"/> Selected Compartments <input type="checkbox"/> Selected Floor Areas <input type="checkbox"/> Basement <input type="checkbox"/> In Lieu of Roof Rating <input type="checkbox"/> Not Required			3.2.2.20.-83 3.2.2.17 3.2.1.5. INDEX 9.10.8.2 INDEX		
10	Standpipe required <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			3.2.9. N/A		
11	Fire Alarm required <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			3.2.4. 9.10.18.		
12	Water Service / Supply is Adequate <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			3.2.5.7. N/A		
13	High Building <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			3.2.6. N/A		
14	Permitted Construction <input checked="" type="checkbox"/> Combustible permitted <input type="checkbox"/> Non-Combustible Required <input type="checkbox"/> Both			3.2.2.20.-83 9.10.6.		
15	Actual Construction <input checked="" type="checkbox"/> Combustible <input type="checkbox"/> Non-Combustible <input type="checkbox"/> Both					
16	Mezzanine(s) Area m2 N/A			3.2.1.1.(3). (8) 9.10.4.1		
17	Occupant load based on <input type="checkbox"/> m2 / person <input checked="" type="checkbox"/> Design of Building			3.1.17. 9.9.1.3.		
18	Total Occupant Load Ground Floor: OCCUPANCY 8 Main Floor: OCCUPANCY 8 Second Floor: OCCUPANCY 8 Third Floor: OCCUPANCY 8 Residential occupancies are based on 2 persons per bedroom for each dwelling unit					
19	Barrier Free Design <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Explain)			3.8.1.1. 9.5.2.		
20	Hazardous Substances <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			3.3.1.2.8.3.3.1.19. 9.10.1.3. (4)		
21	Required Fire Resistance Rating (FRR) Horizontal Assemblies FRR (Hours) Listed Design No. or Description (SB-2)			3.2.2.20.-83 & 3.2.1.4. 9.10.8. 9.10.9.		
22	FRR of Supporting Members Listed Design No. Or Description (SB-2)					
23	Spatial Separation - Construction of Exterior Walls			3.2.3. 9.10.14.		
24	Washroom Features = 1 MIN. per Suite			9.3.1.1/9.31.4		
25	Means of Egress, Access to Exits & Exit Analysis Explain: Public Stairs: Rise = 180mm max. Run = 280mm max. Private Stairs: Rise = 200mm max. Run = 210mm min.			9.9		

3 SECOND FLOOR PLAN  
1/8" = 1'-0"1 GROUND FLOOR PLAN  
1/8" = 1'-0"

APPLICATION NUMBER:

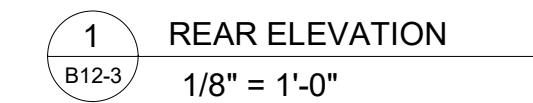
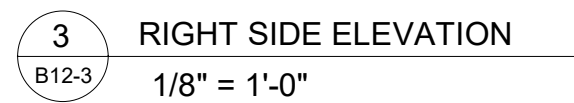
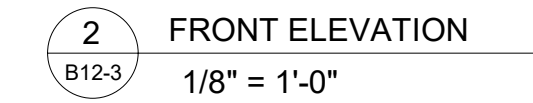
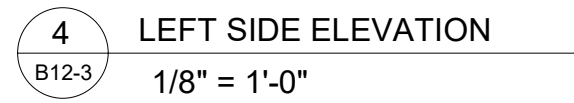
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NOTES:  
THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF 4 ARCHITECTURE INC.  
THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE, AND MUST NOTIFY 4 ARCHITECTURE INC. OF ANY VARIATION FROM THE SUPPLIED INFORMATION.  
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DRAWINGS ARE NOT TO BE SCALED.LEGEND  
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UNIT 2201, EL. 'C'	UNIT 2202, EL. 'C'
<b>WINDOW SUMMARY</b>	<b>WINDOW SUMMARY</b>
P.O.B.C. TABLE 9.10.14.4.	P.O.B.C. TABLE 9.10.14.4.
<b>SPIRATIL CALCULATION</b>	<b>SPIRATIL CALCULATION</b>
EXPISING BUILDING 264.82 S.F.	EXPISING BUILDING 268.79 S.F.
FACE AREA 24.59 S.M.	FACE AREA 26.64 S.M.
PORT WALL AREA 264.82 S.F.	PORT WALL AREA 268.79 S.F.
24.59 S.M.	26.64 S.M.
LIMITING DISTANCE 2.5 m	LIMITING DISTANCE 2.5 m
MIN. REQ. F.R.R. 1.00 HOURS	MIN. REQ. F.R.R. 1.00 HOURS
OPENINGS ALLOWED 50 S.F.	OPENINGS ALLOWED 49 S.F.
OPENINGS PROVIDED 50 S.F.	OPENINGS PROVIDED 48 S.F.
<b>ADDITIONAL NOTES</b>	<b>ADDITIONAL NOTES</b>
GLAZED AREA CALCULATED W/ FRAME SIZE	GLAZED AREA CALCULATED W/ FRAME SIZE
MIN. REQ. F.R.R. 1.00 HOURS	MIN. REQ. F.R.R. 1.00 HOURS
CONSTRUCTION REQ. Q	CONSTRUCTION REQ. Q
UNIT 2203, EL. 'C'	UNIT 2204, EL. 'C'
<b>WINDOW SUMMARY</b>	<b>WINDOW SUMMARY</b>
P.O.B.C. TABLE 9.10.14.4.	P.O.B.C. TABLE 9.10.14.4.
<b>SPIRATIL CALCULATION</b>	<b>SPIRATIL CALCULATION</b>
EXPISING BUILDING 432.85 S.F.	EXPISING BUILDING 564.88 S.F.
FACE AREA 40.21 S.M.	FACE AREA 54.53 S.M.
PORT WALL AREA 432.85 S.F.	PORT WALL AREA 564.88 S.F.
40.21 S.M.	54.53 S.M.
LIMITING DISTANCE 2.5 m	LIMITING DISTANCE 2.5 m
MIN. REQ. F.R.R. 1.00 HOURS	MIN. REQ. F.R.R. 1.00 HOURS
OPENINGS ALLOWED 81 S.F.	OPENINGS ALLOWED 64 S.F.
OPENINGS PROVIDED 80 S.F.	OPENINGS PROVIDED 56 S.F.
<b>ADDITIONAL NOTES</b>	<b>ADDITIONAL NOTES</b>
GLAZED AREA CALCULATED W/ FRAME SIZE	GLAZED AREA CALCULATED W/ FRAME SIZE
MIN. REQ. F.R.R. 1.00 HOURS	MIN. REQ. F.R.R. 1.00 HOURS
CONSTRUCTION REQ. Q	CONSTRUCTION REQ. Q



UNIT 2201, EL. 'C'

WINDROW SUMMARY

P/O B.C. TABLE 9.10.14.4.

SPIRATAL CALCULATION

EXPISING BUILDING

264.56

S.F.

FACE AREA

264.56

S.F.

POROUS WALL AREA

264.56

S.F.

24.39

S.F.

LIMITING DISTANCE

3.4 m

MIN. REQ'D. F.R. 1.00 HRS.

0.73 HRS.

OPENINGS ALLOWED

69 SF

OPENINGS PROVIDED

99 SF

ADDITIONAL NOTES

GLAZED AREA CALCULATED W/ FRAME SIZE

MINUS 2' X 4' ROUND INLET PERMITTER

P/O B.C. TABLE 9.10.14.5.

MIN. REQ'D. F.R. 1.00 HRS.

CONSTRUCTION REQ'D

CLADDING REQ'D

X

NOB.ELECT

UNIT 2202, EL. 'C'

WINDROW SUMMARY

P/O B.C. TABLE 9.10.14.4.

SPIRATAL CALCULATION

EXPISING BUILDING

266.79

S.F.

FACE AREA

264.64

S.F.

POROUS WALL AREA

266.79

S.F.

28.84

S.F.

LIMITING DISTANCE

3.4 m

MIN. REQ'D. F.R. 1.00 HRS.

0.73 HRS.

OPENINGS ALLOWED

66 SF

OPENINGS PROVIDED

142 SF

ADDITIONAL NOTES

GLAZED AREA CALCULATED W/ FRAME SIZE

MINUS 2' X 4' ROUND INLET PERMITTER

P/O B.C. TABLE 9.10.14.5.

MIN. REQ'D. F.R. 1.00 HRS.

CONSTRUCTION REQ'D

CLADDING REQ'D

X

NOB.ELECT

UNIT 2203, EL. 'C'

WINDROW SUMMARY

P/O B.C. TABLE 9.10.14.4.

SPIRATAL CALCULATION

EXPISING BUILDING

330.85

S.F.

FACE AREA

330.85

S.F.

POROUS WALL AREA

432.85

S.F.

40.21

S.F.

LIMITING DISTANCE

3.4 m

MIN. REQ'D. F.R. 1.00 HRS.

0.73 HRS.

OPENINGS ALLOWED

78 SF

OPENINGS PROVIDED

40 SF

ADDITIONAL NOTES

GLAZED AREA CALCULATED W/ FRAME SIZE

MINUS 2' X 4' ROUND INLET PERMITTER

P/O B.C. TABLE 9.10.14.5.

MIN. REQ'D. F.R. 1.00 HRS.

CONSTRUCTION REQ'D

CLADDING REQ'D

X

NOB.ELECT

UNIT 2204, EL. 'C'

WINDROW SUMMARY

P/O B.C. TABLE 9.10.14.4.

SPIRATAL CALCULATION

EXPISING BUILDING

368.14

S.F.

FACE AREA

344.35

S.F.

POROUS WALL AREA

584.88

S.F.

24.34

S.F.

LIMITING DISTANCE

3.4 m

MIN. REQ'D. F.R. 1.00 HRS.

0.73 HRS.

OPENINGS ALLOWED

75 SF

OPENINGS PROVIDED

66 SF

ADDITIONAL NOTES

GLAZED AREA CALCULATED W/ FRAME SIZE

MINUS 2' X 4' ROUND INLET PERMITTER

P/O B.C. TABLE 9.10.14.5.

MIN. REQ'D. F.R. 1.00 HRS.

CONSTRUCTION REQ'D

CLADDING REQ'D

X

NOB.ELECT

APPLICATION NUMBER:

## MATERIAL LEGEND

- 1 BRICK VENEER 1
- 2 BRICK VENEER 2
- 3 VERTICAL SIDING
- 4 HORIZONTAL SIDING
- 5 ASPHALT SHINGLES
- 6 ALUMINUM FRIEZE BOARD
- 7 PRECAST CONC. SILL / BANDING
- 8 BRICK SOLDIER COURSE
- 9 ALUMINIUM RAILING
- 10 PRIVACY SCREEN

[illegible]

SUBMITTALS		
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2.		
1.	ISSUED FOR SPA SUBMISSION	2021.09.13

CLIENT: \_\_\_\_\_

NORTH: \_\_\_\_\_ STAMP: \_\_\_\_\_

 **4 ARCHITECTURE**  
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**MARSHALL HOMES - 220082**  
COBOURG, ON

## ELEVATIONS

### BUILDING 12

2021.09.13

Scale 1/8" = 1'-0"	Drawn By PS	Checked By SI
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File Name  
220082DS\_BLDG 12\_TYPE C.m

# B12-3