

APPLICATION NUMBER: APPLICATION NUMBER:

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> LEGEND FIRE SEPARATION: 45 MIN. FRR FIRE SEPARATION: 1.0 HR FRR FIRE SEPARATION: 2.0 HR FRR

g			
) Desigr	GROSS FLOOR A	REA	1430.34 sq.m. (15396 sq.ft.)
/5.0	LOT 1 (2301, EL.'C'-UPG)	240.25 sq.m.	(2586 sq.ft.)
Mar	LOT 2 (2301, EL.'B')	240.25 sq.m.	(2586 sq.ft)
82.I	LOT 3 (2301, EL.'A')	235.79 sq.m.	(2538 sq.ft.)
00	LOT 4 (2301, EL.'A')	235.79 sq.m.	(2538 sq.ft.)
CTS\2020\220082.Mar\5.0	LOT 5 (2301, EL.'B')	240.25 sq.m.	(2586 sq.ft.)
020	LOT 6 (2301, EL.'C')	238.02 sq.m.	(2562 sq.ft.)
- S 2	-	0.00 sq.m.	(0 sq.ft.)
ECT	-	0.00 sq.m.	(0 sq.ft.)

BUILDING AREA 683.77 sq.m.(7360 sq.ft.)

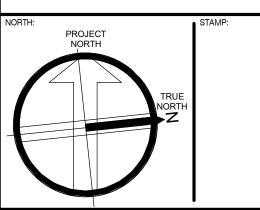
▲ A FIREWALL IS REQUIRED IF THE BUILDING AREA IS GREATER THAN 600 m2 (6458 sq ft) AS PER BUILDING CODE PART 9 LIMITATIONS SECTION 1.1.2.4.(1) ** DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2. IS THE EXTENT OF THE GREATEST HORIZONTAL BUILDING EXTERIOR WALLS ABOVE GRADE TO IF REQ'D THE CENTER

OF THE FIREWALL (DEMISING LINE) BUILDING AREA CALCULATION FOR FIREWALLS AS PER

O.B.C. PART 1 SECTION 1.1.2.4.(1), PART 3.1. & 9.10. BUILDING AREA SEPERATED BY FIREWALL

341.88 sq.m.(3680 sq.ft.) 341.88 sq.m.(3680 sq.ft.) ISSUED FOR SPA SUBMISSION YYYY.MM.DD B

MARSHALL HOMES



8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7 T. (905) 470 7212 // F. (905) 737 7326 email: mail@4architecture.ca MARSHALL HOMES - 220082

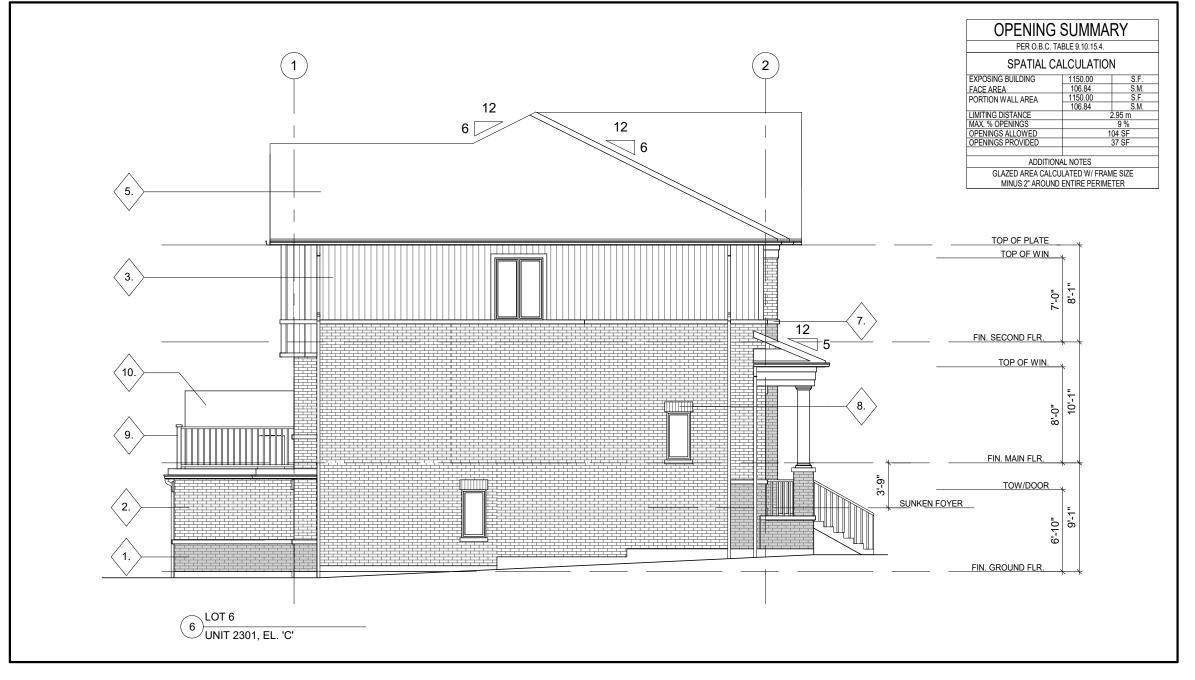
COBOURG, ON. FLOOR PLAN & ROOF PLAN

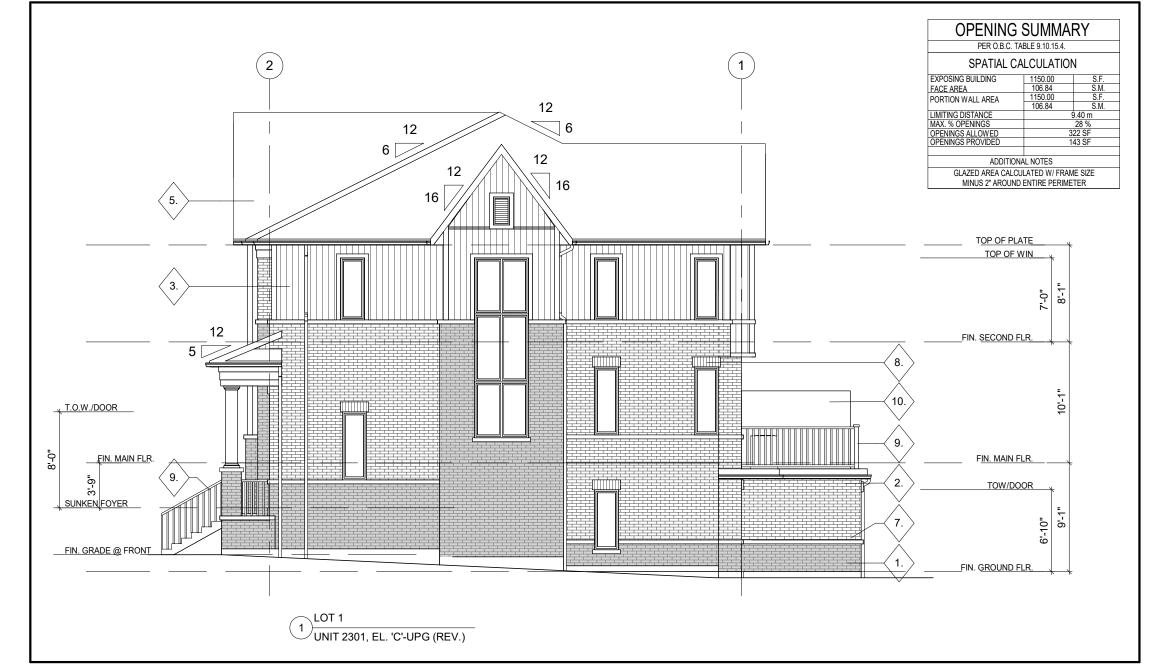
- BUILDING 1 (TYPE 'A') 2021.09.13 Drawn By Checked By HM SL As indicated 220082DS_BLDG 1_TYPE A.rvt

	MANUFACTURER	1	2	3	
Roof	BP Mystique	Std. Towns 2-Tone Black	RL Towns 2-Tone Black	Stacked Towns 2-Tone Black	
Soffit, Eavestroughs, RWL	Giancola Aluminum	Slate	Iron Ore	Slate	
and Freize Board Brick 1 (Base Brick)	Meridian Brick	Portland	Vanier	Vanier	
Brick 2 (Upper Brick)	Meridian Brick	Kelowna	Portland	Kelowna	
Vinyl Siding,	Mitten	Stratus	White	Stratus	
(including corner trim & caping) Non-combustible Siding Where	James Hardie	C	Lolour to match Vinyl Sidi	ng	
required Front Door & Garage Door	Sherwin Williams	Perle Noir	Perle Noir	Perle Noir SW 9154	
Prefinished Exterior Trim, Panels,	Sherwin Williams	SW 9154 Popular Gray	SW 9154 Popular Gray	Popular Gray	5.
Exterior Posts & Door Frame	Silerwin Williams	SW6071	SW6071	SW6071	
Windows	Newmar	Black	Black	Black	
Railings	Airport Railing	Black	Black	Black	
					2.
					LEFT SIDE ELEVATION B1-3 1/8" = 1'-0"

1 REAR ELEVATION

B1-3 1/8" = 1'-0"





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ONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES

ALL ARCHITECTURAL SYMBOLS INDICATED ARE GRAPHIC REPRESENTATIONS ONLY.

WINGS ARE NOT TO BE SCALED.

MATERIAL LEGEND

1 BRICK VENEER 1

2 BRICK VENEER 2

(3) VERTICAL SIDING

4 HORIZONTAL SIDING

(5) ASPHALT SHINGLES

6 ALUMINUM FRIEZE BOARD

8 BRICK SOLDIER COURSE

9 ALUMINIUM RAILING

10 PRIVACY SCREEN

ISSUED FOR SPA SUBMISSION

MARSHALL HOMES

4 ARCHITECTURE INC.

8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7 T. (905) 470 7212 // F. (905) 737 7326 email: mail@4architecture.ca

MARSHALL HOMES - 220082

- BUILDING 1 (TYPE 'A')

COBOURG, ON.

ELEVATIONS

2021.09.13

1/8" = 1'-0"

File Name
220082DS_BLDG 1_TYPE A.rvt

2021.09.13 S

7 PRECAST CONC. SILL / BANDING

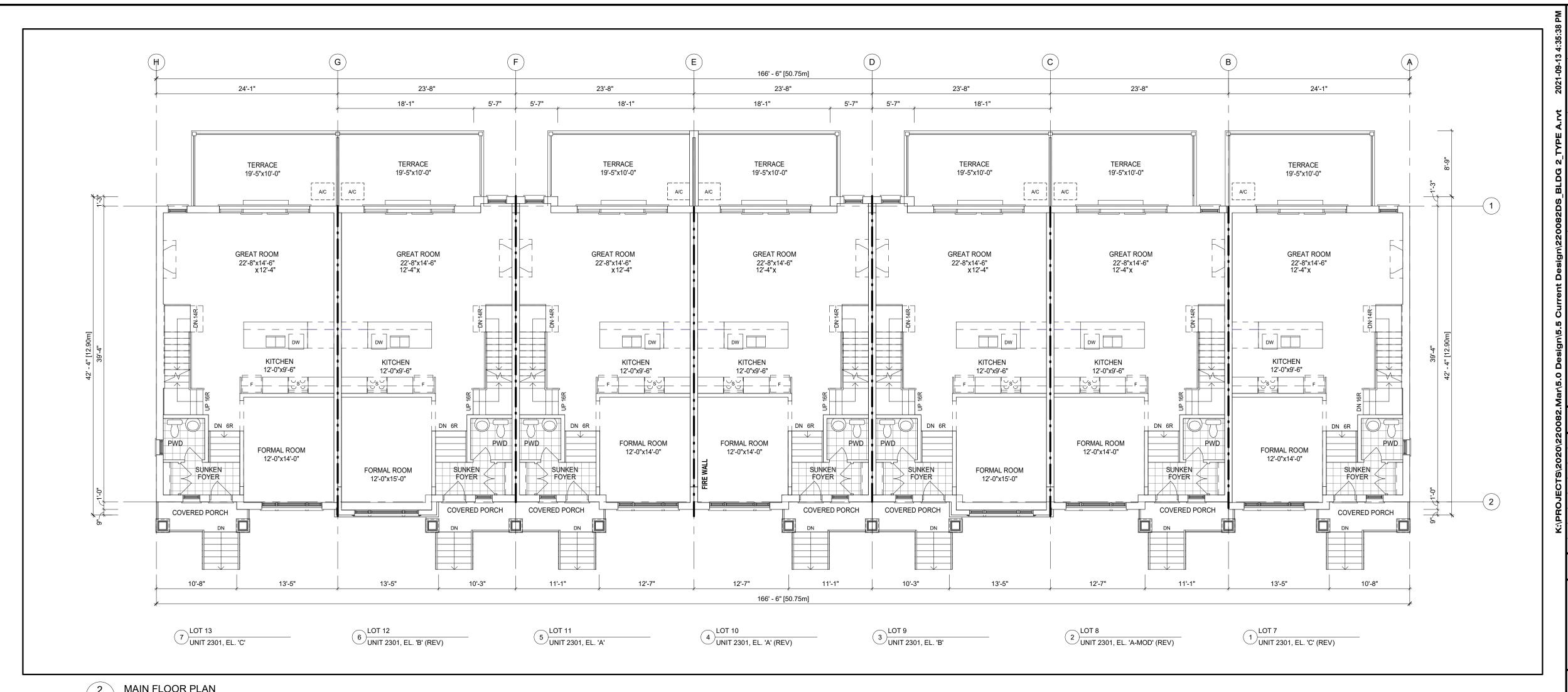
RIGHT SIDE ELEVATION
1'-0"

1/8" = 1'-0"



FONT ELEVATION
158' of Full

Solution
158' of

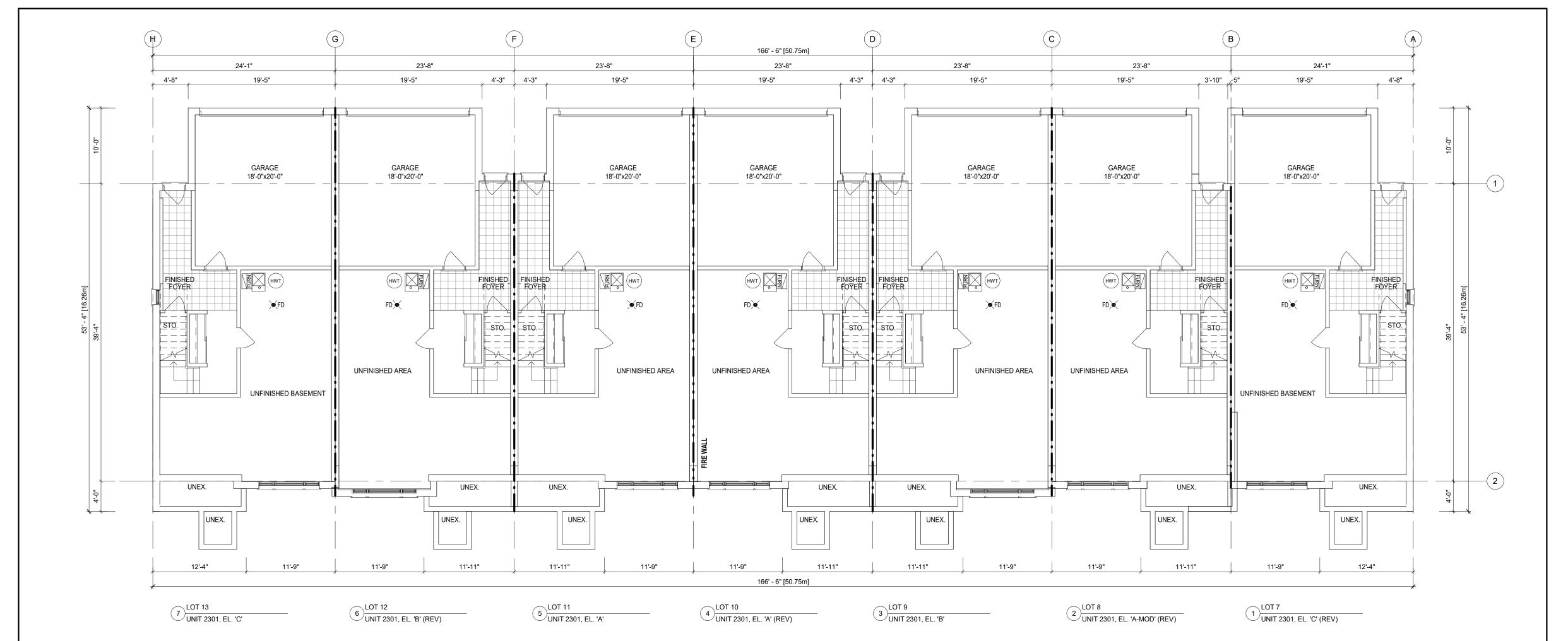


2 MAIN FLOOR PLAN

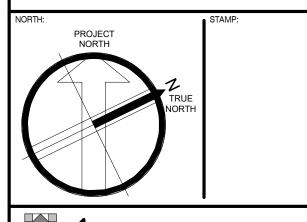
B2-1 1/8" = 1'-0"

1 GROUND FLOT 1/8" = 1'-0"

GROUND FLOOR PLAN



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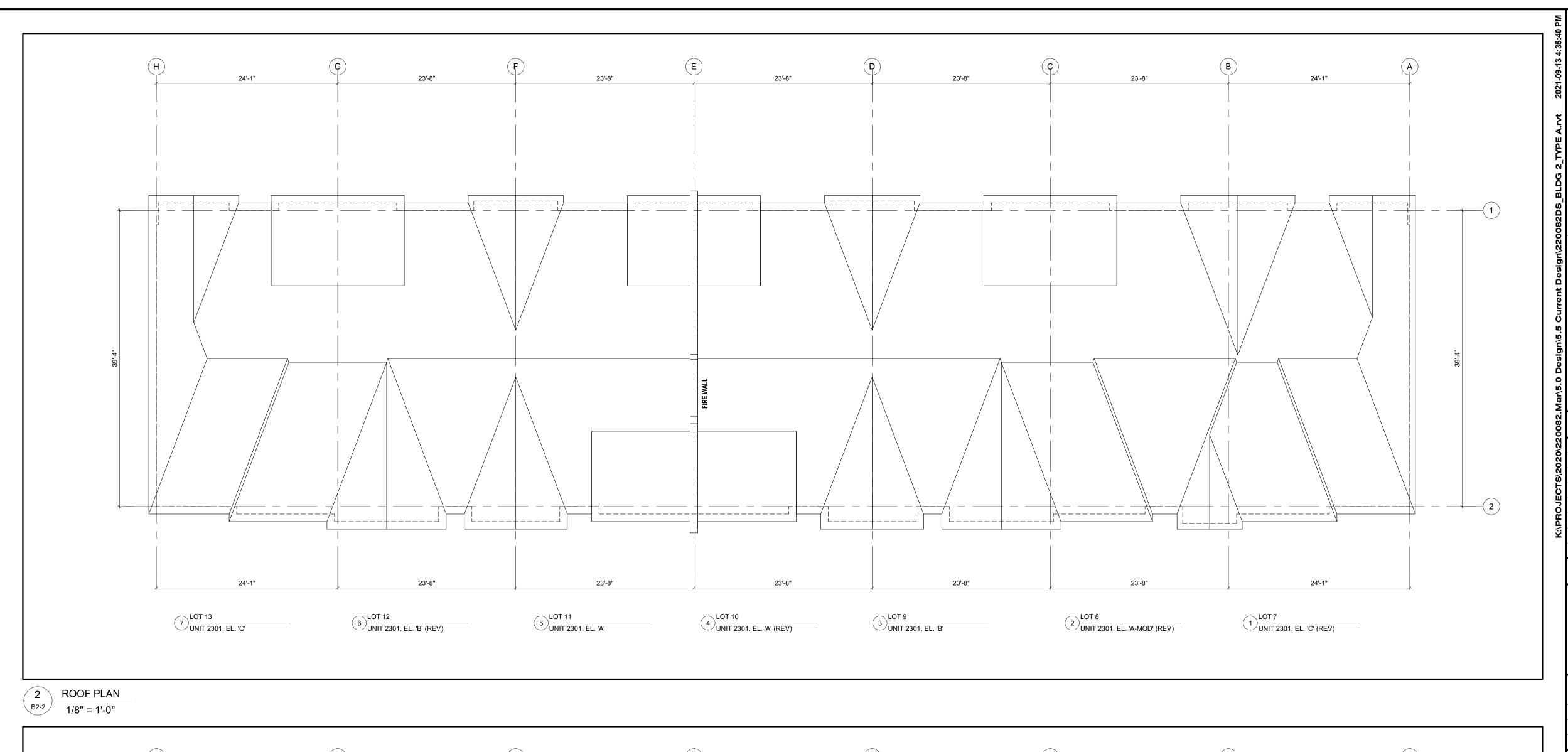


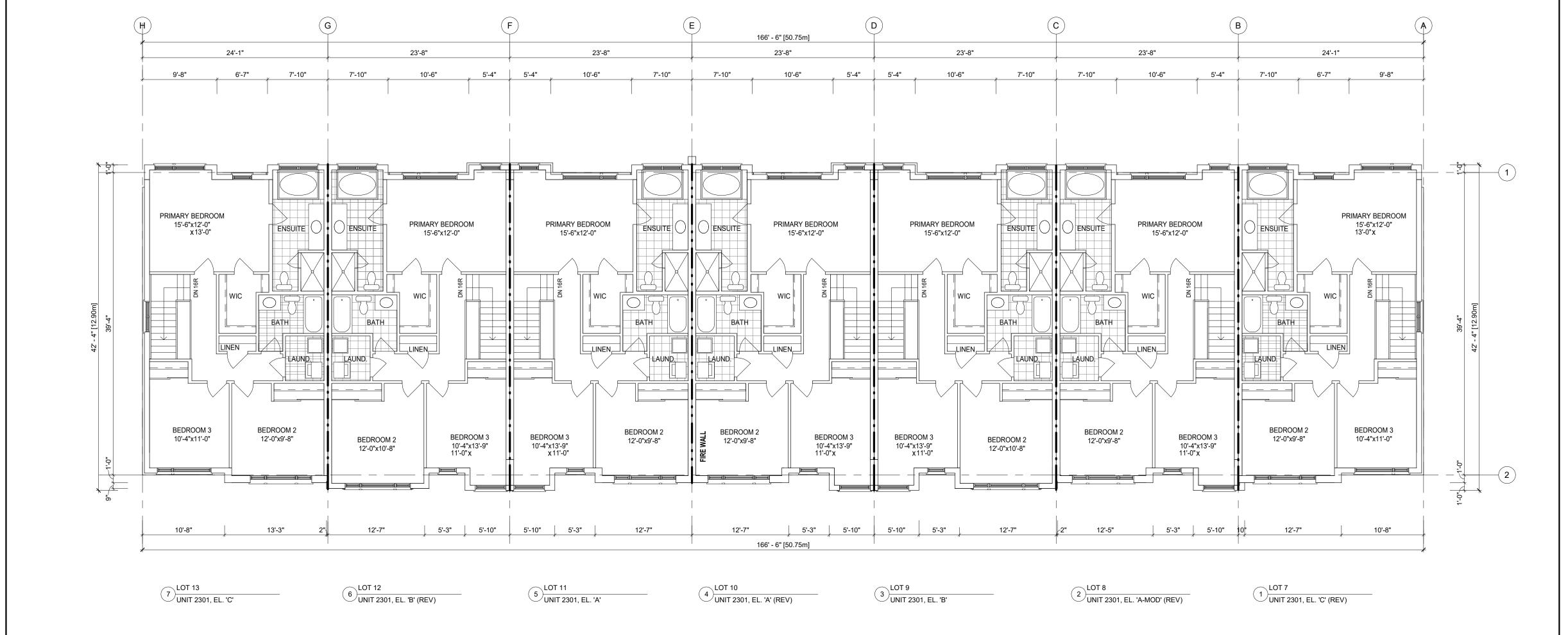
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MARSHALL HOMES - 220082 COBOURG, ON. FLOOR PLANS -

220082DS_BLDG 2_TYPE A.rvt

BLOCK 2 (TYPE 'A') 2021.09.13 As indicated HM





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ISSUED FOR SPA SUBMISSION 2021.09.13 YYYY.MM.DD I

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MARSHALL HOMES - 220082 COBOURG, ON. FLOOR PLANS -

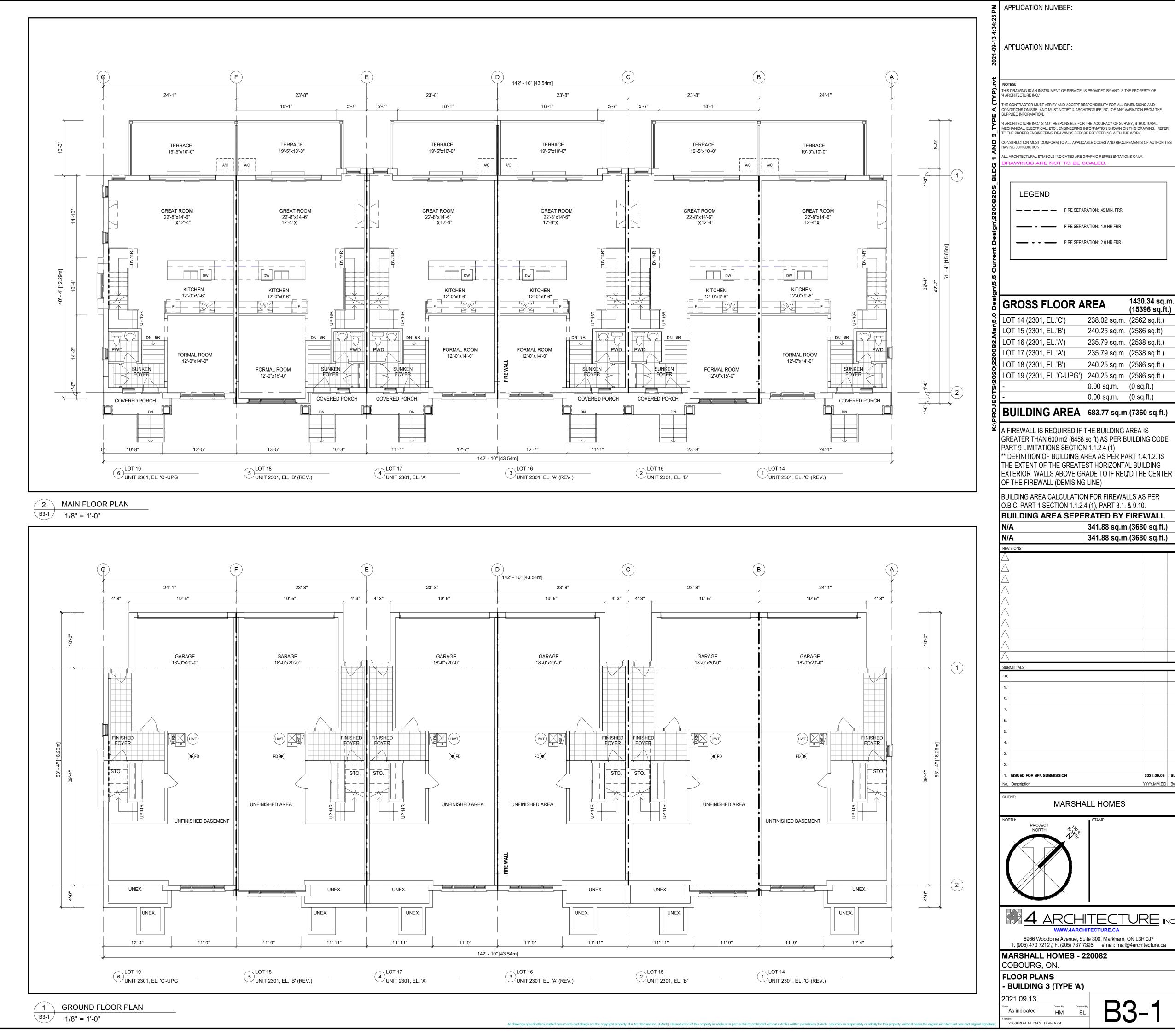
2021.09.13

As indicated

BUILDING 2 (TYPE 'A') HM 220082DS_BLDG 2_TYPE A.rvt

1 SECOND FLOOR PLAN B2-2 1/8" = 1'-0"

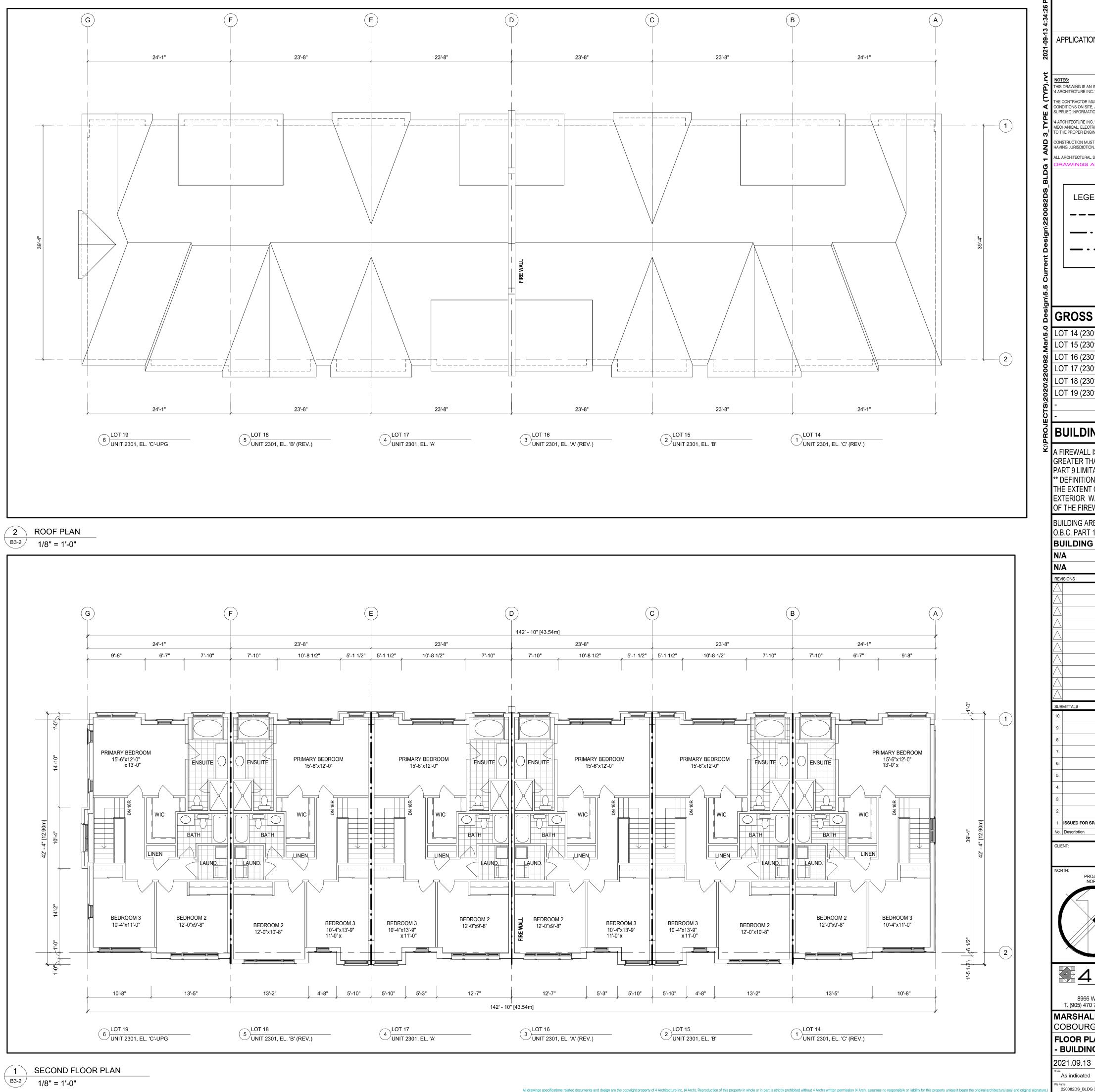
			APPLICATION NUMBER:
EXTERIOR COLOUR SELECTION MANUFACTURER 1 2 3 Std. Towns RL Towns Stacked Towns Roof BP Mystique 2-Tone Black 2-Tone Black 2-Tone Black Soffit, Eavestroughs, RWL Giancola Aluminum Slate Iron Ore Slate	OPENING SUMMARY PER O.B.C. TABLE 9.10.15.4.	OPENING SUMMARY PER O.B.C. TABLE 9.10.15.4.	3 4:35:42
and Freize Board Brick 1 (Base Brick) Meridian Brick Portland Vanier Vanier Brick 2 (Upper Brick) Meridian Brick Kelowna Portland Kelowna	SPATIAL CALCULATION	SPATIAL CALCULATION EXPOSING BUILDING 1150.00 S.F. FACE AREA 106.84 S.M. PORTION WALL AREA 1150.00 S.F. LIMITING DISTANCE 3.05 S.M.	APPLICATION NUMBER:
Vinyl Siding, (including corner trim & caping) Non-combustible Siding Where required Front Door & Garage Door Sherwin Williams Mitten Stratus White Stratus White Stratus Colour to match Vinyl Siding Perle Noir SW 9154 SW 9154 SW 9154 SW 9154	6 12 ILIMIA W O DE NINGS	LIMITING DISTANCE 100.04 1 2.95 m MAX. % OPENINGS 9 % OPENINGS ALLOWED 104 SF OPENINGS PROVIDED 37 SF	NOTES: THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF 4 ARCHITECTURE INC.'
Prefinished Exterior Trim, Panels, Exterior Posts & Door Frame Sherwin Williams Popular Gray Popular Gray SW6071 Windows Newmar Black Black Black	MINUS 2* AROUND ENTIRE PERIMETER	5. MINUS 2" AROUND ENTIRE PERIMETER	THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE, AND MUST NOTIFY '4 ARCHITECTURE INC.' OF ANY VARIATION FROM THE SUPPLIED INFORMATION. 4 ARCHITECTURE INC.' IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL,
Railings Airport Railing Black Black Black	TOP OF PLATE TOP OF WIN 2.	TOP OF PLATE TOP OF WIN 50 57	MECHANICAL, ELECTRICAL, ETC., ENGINEERING INFORMATION SHOWN ON THIS DRAWING. REFER TO THE PROPER ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
		2. FIN. SECOND FLR.	ALL ARCHITECTURAL SYMBOLS INDICATED ARE GRAPHIC REPRESENTATIONS ONLY. DRAWINGS ARE NOT TO BE SCALED.
	TOP OF WIN. 10. 8.	TOP OF WIN. 10.	MATERIAL LEGEND O D BRICK VENEER 1
	TOW/DOOR 50	9. FIN. MAIN FLR.	2 BRICK VENEER 2 3 VERTICAL SIDING
	SUNK. FOYER 5. 5. 6. 5. 6. 5. 6. 6. 6. 6. 6. 6. 6. 6. 6. 6. 6. 6. 6.	TOW/DOOR OF SUNK. FOYER 7. 7.	4 HORIZONTAL SIDING 5 ASPHALT SHINGLES 6 ALUMINUM FRIEZE BOARD
	FIN. GROUND FLR.	1. FIN. GROUND FLR.	O PRECAST CONC. SILL / BANDING 8 BRICK SOLDIER COURSE
	7 LOT 13 UNIT 2301, EL. 'C'	1) LOT 7 UNIT 2301, EL. 'C' (REV)	9 ALUMINIUM RAILING 10 PRIVACY SCREEN
	4 LEFT SIDE ELEVATION B2-3 1/8" = 1'-0" 3 RIGHT B2-3 1/8" =	SIDE ELEVATION 1'-0"	
	$\begin{array}{ c c c c c c c c c c c c c c c c c c c$		K:\PROJ
		12	
	16 12 16 16 16 16 16 16 16 16 16 16 16 16 16	16 16 16	
		4. 2. TOP OF PLATE TOP OF WIN	
	10	3. 10P OF WIN, 15. 10P OF WIN,	
	1, [11, 15m] 1 1, [FIN. SECOND FLR. TOP OF WIN.	
		2. 50	REVISIONS
		FIN. MAIN FLR. TOW/DOOR SUNK. FOYER	
		1. 50 6 FIN. GRADE @ FRONT FIN. GROUND FLR.	
		2301, EL. 'B' 2 LOT 8 UNIT 2301, EL. 'A-MOD' (REV) 1 UNIT 2301, EL. 'C' (REV)	SUBMITTALS
	2 FRONT ELEVATION B2-3 1/8" = 1'-0"		9. 8.
		(F) (G) (H)	7. 6. 5.
	12	12	4. 3. 2.
	5. 16 16 16 16 16 16 16 16 16 16 16 16 16	16	1. ISSUED FOR SPA SUBMISSION 2021.09.13 SL No. Description YYYY.MM.DD By
		TOP OF PLATE TOP OF WIN	NORTH: STAMP:
		3 0 1 8	
	8.	FIN. SECOND FLR. 8. TOP OF WIN.	
		- -	
		TOW/DOOR 5	WWW.4ARCHITECTURE INC. 8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7 T. (905) 470 7212 // F. (905) 737 7326 email: mail@4architecture.ca
	LOT 7 LOT 8 LOT 9 LOT 10	OT 11 LOT 12 LOT 13	MARSHALL HOMES - 220082 COBOURG, ON.
	1 UNIT 2301, EL. 'C' (REV) 2 UNIT 2301, EL. 'A-MOD' (REV) 3 UNIT 2301, EL. 'B' 4 UNIT 2301, EL. 'A' (REV) 5 UN	OT 11 NIT 2301, EL. 'A' OT 12	ELEVATIONS - BUILDING 2 (TYPE 'A') 2021.09.13
	1 REAR ELEVATION 1/8" = 1'-0" All drawings specifi	fications related documents and design are the copyright property of 4 Architecture Inc. (4 Arch). Reproduction of this property in whole or in part is strictly prohibited without 4 Arch's written permission (4 Arch. assumes no responsibily or liability for this property unless it bears the original architectural seal and original	Scale 1/8" = 1'-0" HM SL File Name 220082DS_BLDG 2_TYPE A.rvt



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> 341.88 sq.m.(3680 sq.ft.) 341.88 sq.m.(3680 sq.ft.)

> > YYYY.MM.DD I



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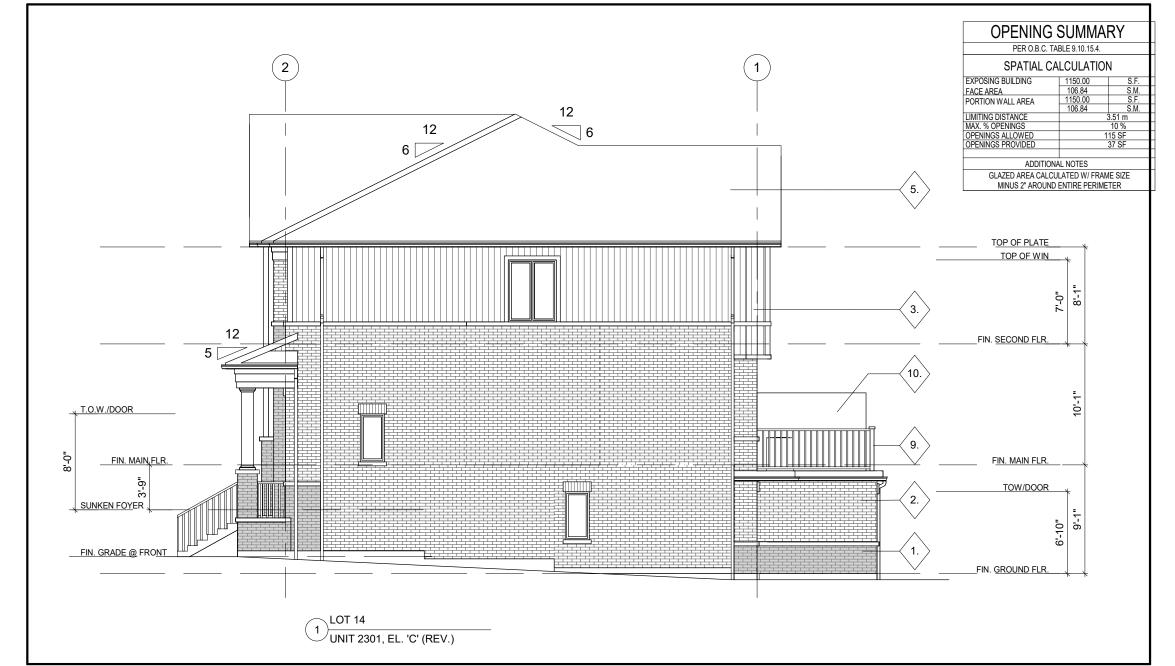
As indicated

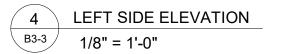
220082DS_BLDG 3_TYPE A.rvt

HM SL

EXTERIOR COLOUR SELECTION	MANUFACTURER	1 Std. Towns	2 RL Towns	3 Stacked Towns
Roof	BP Mystique	2-Tone Black	2-Tone Black	2-Tone Black
Soffit, Eavestroughs, RWL and Freize Board	Giancola Aluminum	Slate	Iron Ore	Slate
Brick 1 (Base Brick)	Meridian Brick	Portland	Vanier	Vanier
Brick 2 (Upper Brick)	Meridian Brick	Kelowna	Portland	Kelowna
Vinyl Siding, (including corner trim & caping)	Mitten	Stratus	White	Stratus
Non-combustible Siding Where required	James Hardie	С	olour to match Vinyl Sidii	ng
Front Door & Garage Door	Sherwin Williams	Perle Noir SW 9154	Perle Noir SW 9154	Perle Noir SW 9154
Prefinished Exterior Trim, Panels, Exterior Posts & Door Frame	Sherwin Williams	Popular Gray SW6071	Popular Gray SW6071	Popular Gray SW6071
Windows	Newmar	Black	Black	Black
Railings	Airport Railing	Black	Black	Black







1 REAR ELEVATION

B3-3 1/8" = 1'-0"

3 RIGHT SIDE ELEVATION

B3-3 1/8" = 1'-0"





APPLICATION NUMBER: APPLICATION NUMBER: THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE, AND MUST NOTIFY '4 ARCHITECTURE INC.' OF ANY VARIATION FROM THE SUPPLIED INFORMATION. 4 ARCHITECTURE INC.' IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC., ENGINEERING INFORMATION SHOWN ON THIS DRAWING. REFER TO THE PROPER ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. ONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES ALL ARCHITECTURAL SYMBOLS INDICATED ARE GRAPHIC REPRESENTATIONS ONLY. WINGS ARE NOT TO BE SCALED. MATERIAL LEGEND 1 BRICK VENEER 1 2 BRICK VENEER 2 (3) VERTICAL SIDING 4 HORIZONTAL SIDING (5) ASPHALT SHINGLES 6 ALUMINUM FRIEZE BOARD 7 PRECAST CONC. SILL / BANDING 8 BRICK SOLDIER COURSE 9 ALUMINIUM RAILING 10 PRIVACY SCREEN

ISSUED FOR SPA SUBMISSION 2021.09.13 YYYY.MM.DD B

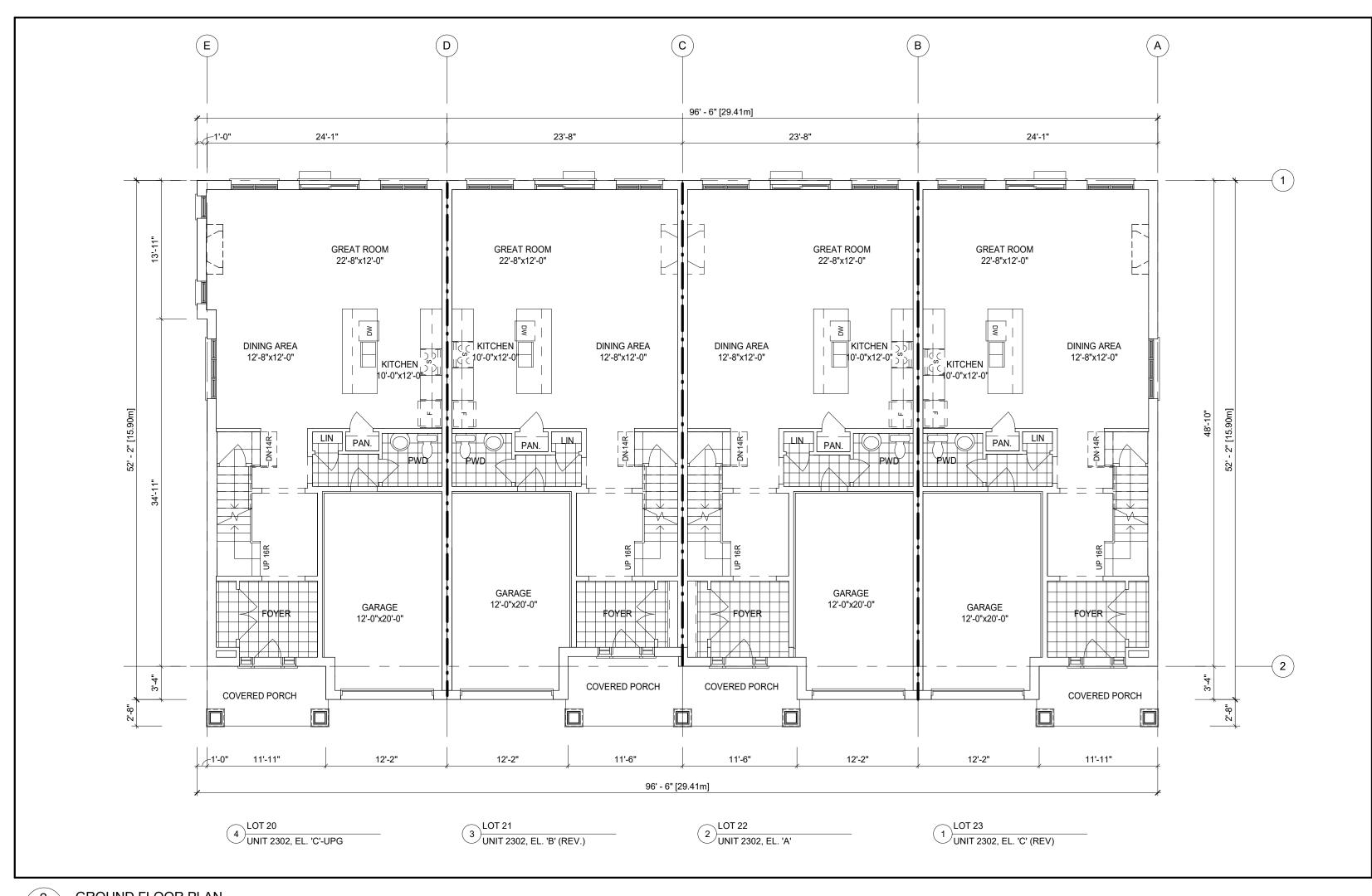
MARSHALL HOMES

8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7 T. (905) 470 7212 // F. (905) 737 7326 email: mail@4architecture.ca MARSHALL HOMES - 220082

COBOURG, ON. **ELEVATIONS** - BUILDING 3 (TYPE 'A') 2021.09.13

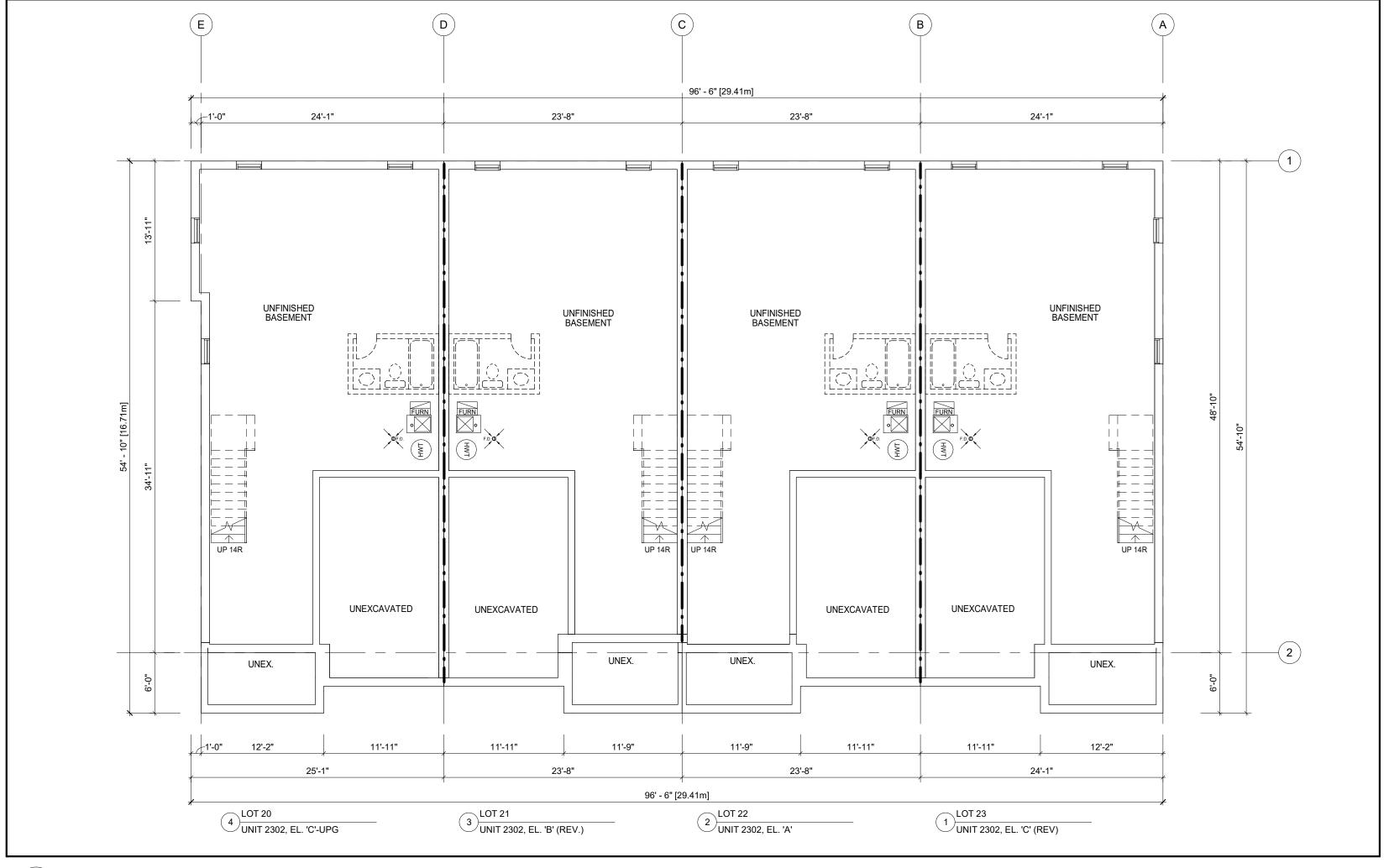
1/8" = 1'-0"

220082DS_BLDG 3_TYPE A.rvt



GROUND FLOOR PLAN

1/8" = 1'-0"

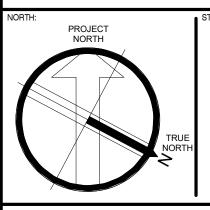


BASEMENT FLOOR PLAN 1/8" = 1'-0"

APPLICATION NUMBER: APPLICATION NUMBER: THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF ARCHITECTURE INC.' THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE, AND MUST NOTIFY '4 ARCHITECTURE INC.' OF ANY VARIATION FROM THE 4 ARCHITECTURE INC.' IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC., ENGINEERING INFORMATION SHOWN ON THIS DRAWING. REFER TO THE PROPER ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES ALL ARCHITECTURAL SYMBOLS INDICATED ARE GRAPHIC REPRESENTATIONS ONLY. AWINGS ARE NOT TO BE SCALED. LEGEND - - - - FIRE SEPARATION: 45 MIN. FRR FIRE SEPARATION: 1.0 HR FRR FIRE SEPARATION: 2.0 HR FRR 772.95 sq.m. GROSS FLOOR AREA (8320 sq.ft.) LOT 20 (2302, EL.'C'-UPG) 198.07 sq.m. (2132 sq.ft.) LOT 21 (2302, EL.'B') 188.96 sq.m. (2034 sq.ft) 191.10 sq.m. (2057 sq.ft.) LOT 22 (2302, EL.'A') LOT 23 (2302, EL.'C') 194.82 sq.m. (2097 sq.ft.) 0.00 sq.m. (0 sq.ft.) 0.00 sq.m. (0 sq.ft.) 0.00 sq.m. (0 sq.ft.) 0.00 sq.m. (0 sq.ft.) **BUILDING AREA** 477.34 sq.m.(5138 sq.ft.) A FIREWALL IS REQUIRED IF THE BUILDING AREA IS GREATER THAN 600 m2 (6458 sq ft) AS PER BUILDING CODE PART 9 LIMITATIONS SECTION 1.1.2.4.(1) ** DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2. IS THE EXTENT OF THE GREATEST HORIZONTAL BUILDING EXTERIOR WALLS ABOVE GRADE TO IF REQ'D THE CENTER OF THE FIREWALL (DEMISING LINE) BUILDING AREA CALCULATION FOR FIREWALLS AS PER O.B.C. PART 1 SECTION 1.1.2.4.(1), PART 3.1. & 9.10. BUILDING AREA SEPERATED BY FIREWALL 0.00 sq.m. (0 sq.ft.)

0.00 sq.m. (0 sq.ft.) ISSUED FOR SPA SUBMISSION YYYY.MM.DD

MARSHALL HOMES



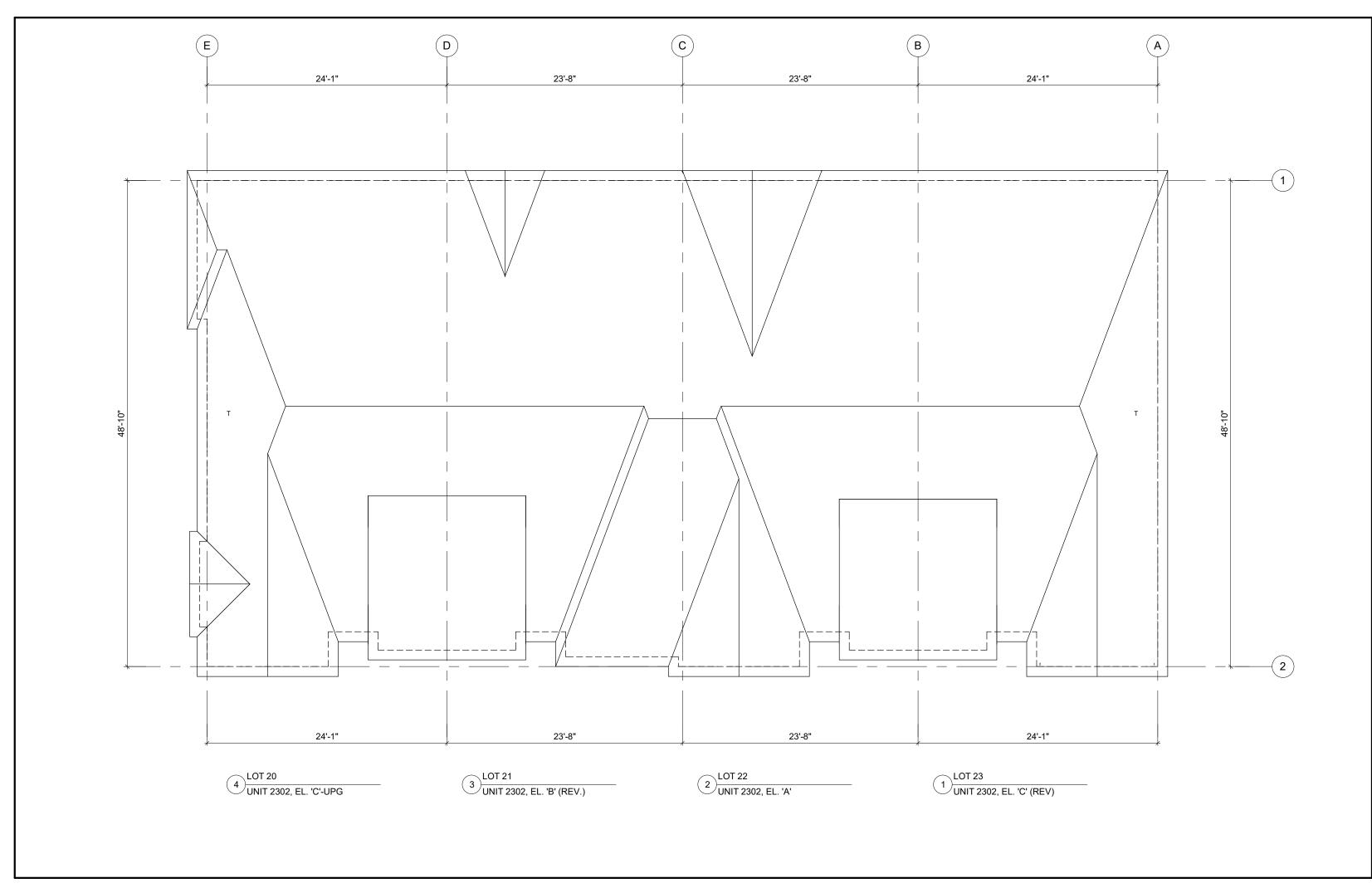
8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7 T. (905) 470 7212 // F. (905) 737 7326 email: mail@4architecture.ca

MARSHALL HOMES - 220082 COBOURG, ON.

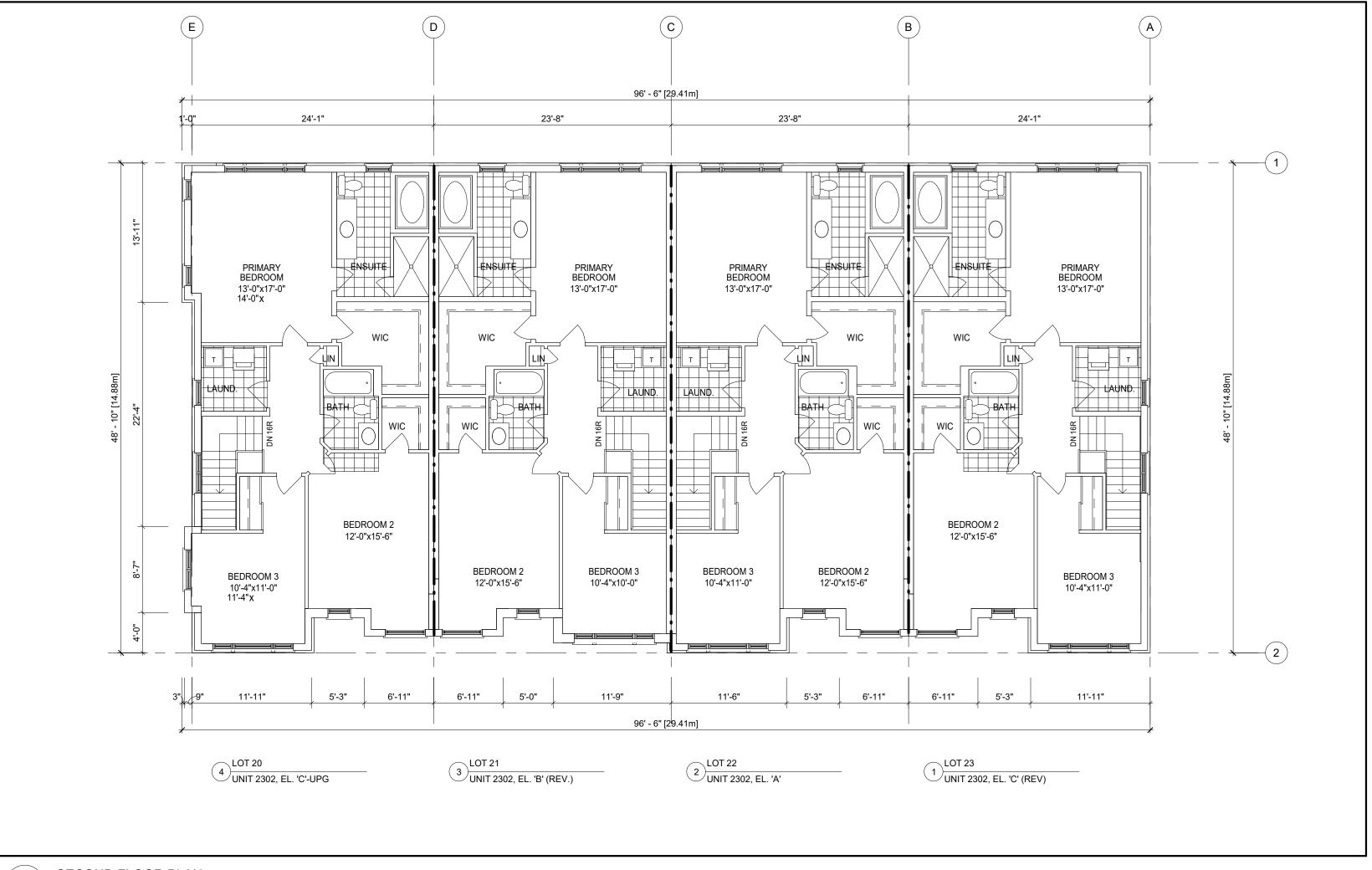
FLOOR PLANS - BUILDING 4 (TYPE 'A') 2021.09.13

220082DS_BLDG 4_TYPE B.rvt

As indicated



2 ROOF PLAN 1/8" = 1'-0"



APPLICATION NUMBER: APPLICATION NUMBER: THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE, AND MUST NOTIFY '4 ARCHITECTURE INC.' OF ANY VARIATION FROM THE 4 ARCHITECTURE INC.' IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC., ENGINEERING INFORMATION SHOWN ON THIS DRAWING. REFER TO THE PROPER ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES ALL ARCHITECTURAL SYMBOLS INDICATED ARE GRAPHIC REPRESENTATIONS ONLY. RAWINGS ARE NOT TO BE SCALED. LEGEND FIRE SEPARATION: 45 MIN. FRR FIRE SEPARATION: 1.0 HR FRR FIRE SEPARATION: 2.0 HR FRR 772.95 sq.m. GROSS FLOOR AREA (8320 sq.ft.) LOT 20 (2302, EL.'C'-UPG) 198.07 sq.m. (2132 sq.ft.) LOT 21 (2302, EL.'B') 188.96 sq.m. (2034 sq.ft) 191.10 sq.m. (2057 sq.ft.) LOT 22 (2302, EL.'A') LOT 23 (2302, EL.'C') 194.82 sq.m. (2097 sq.ft.) 0.00 sq.m. (0 sq.ft.) 0.00 sq.m. (0 sq.ft.) 0.00 sq.m. (0 sq.ft.) 0.00 sq.m. (0 sq.ft.) **BUILDING AREA** 477.34 sq.m.(5138 sq.ft.) A FIREWALL IS REQUIRED IF THE BUILDING AREA IS GREATER THAN 600 m2 (6458 sq ft) AS PER BUILDING CODE PART 9 LIMITATIONS SECTION 1.1.2.4.(1) ** DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2. IS THE EXTENT OF THE GREATEST HORIZONTAL BUILDING EXTERIOR WALLS ABOVE GRADE TO IF REQ'D THE CENTER OF THE FIREWALL (DEMISING LINE) BUILDING AREA CALCULATION FOR FIREWALLS AS PER O.B.C. PART 1 SECTION 1.1.2.4.(1), PART 3.1. & 9.10. BUILDING AREA SEPERATED BY FIREWALL 0.00 sq.m. (0 sq.ft.) 0.00 sq.m. (0 sq.ft.) ISSUED FOR SPA SUBMISSION YYYY.MM.DD I MARSHALL HOMES 8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7 T. (905) 470 7212 // F. (905) 737 7326 email: mail@4architecture.ca MARSHALL HOMES - 220082 COBOURG, ON. FLOOR PLAN & ROOF PLAN

SECOND FLOOR PLAN

1/8" = 1'-0"

220082DS_BLDG 4_TYPE B.rvt

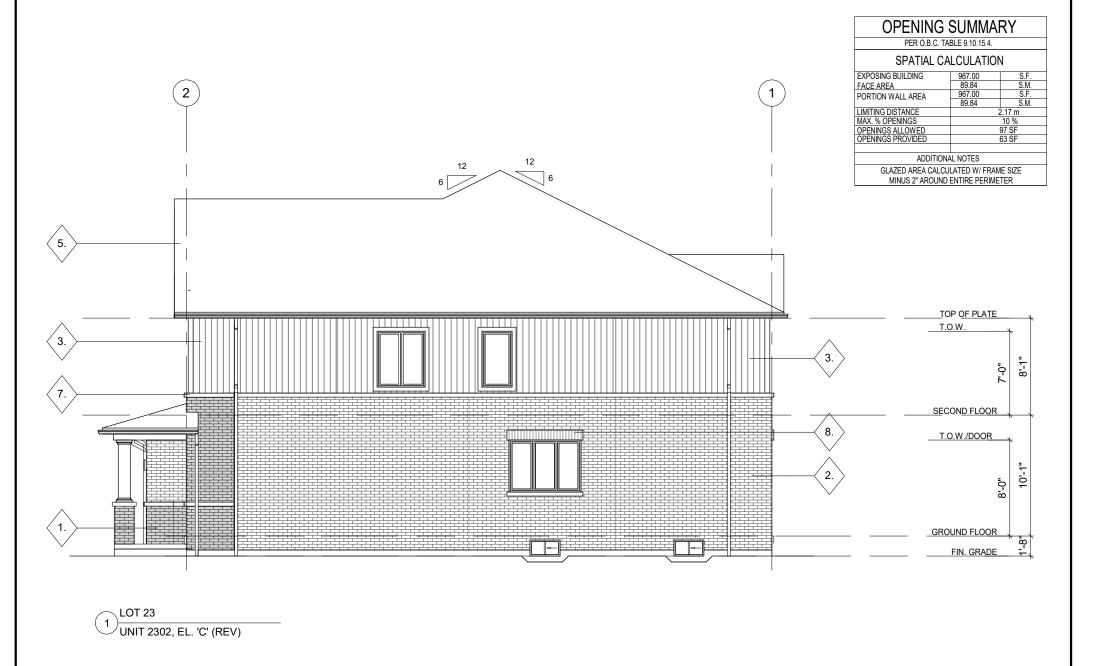
- BUILDING 4 (TYPE 'A')

2021.09.13

As indicated

EXTERIOR COLOUR SELECTION	MANUFACTURER	1 Std. Towns	2 RL Towns	3 Stacked Towns
Roof	BP Mystique	2-Tone Black	2-Tone Black	2-Tone Black
Soffit, Eavestroughs, RWL and Freize Board	Giancola Aluminum	Slate	Iron Ore	Slate
Brick 1 (Base Brick)	Meridian Brick	Portland	Vanier	Vanier
Brick 2 (Upper Brick)	Meridian Brick	Kelowna	Portland	Kelowna
Vinyl Siding, (including corner trim & caping)	Mitten	Stratus	White	Stratus
Non-combustible Siding Where required	James Hardie	C	colour to match Vinyl Sidir	ng
Front Door & Garage Door	Sherwin Williams	Perle Noir SW 9154	Perle Noir SW 9154	Perle Noir SW 9154
Prefinished Exterior Trim, Panels, Exterior Posts & Door Frame	Sherwin Williams	Popular Gray SW6071	Popular Gray SW6071	Popular Gray SW6071
Windows	Newmar	Black	Black	Black
Railings	Airport Railing	Black	Black	Black





4 LEFT SIDE ELEVATION
1/8" = 1'-0"

RIGHT SIDE ELEVATION

1/8" = 1'-0"

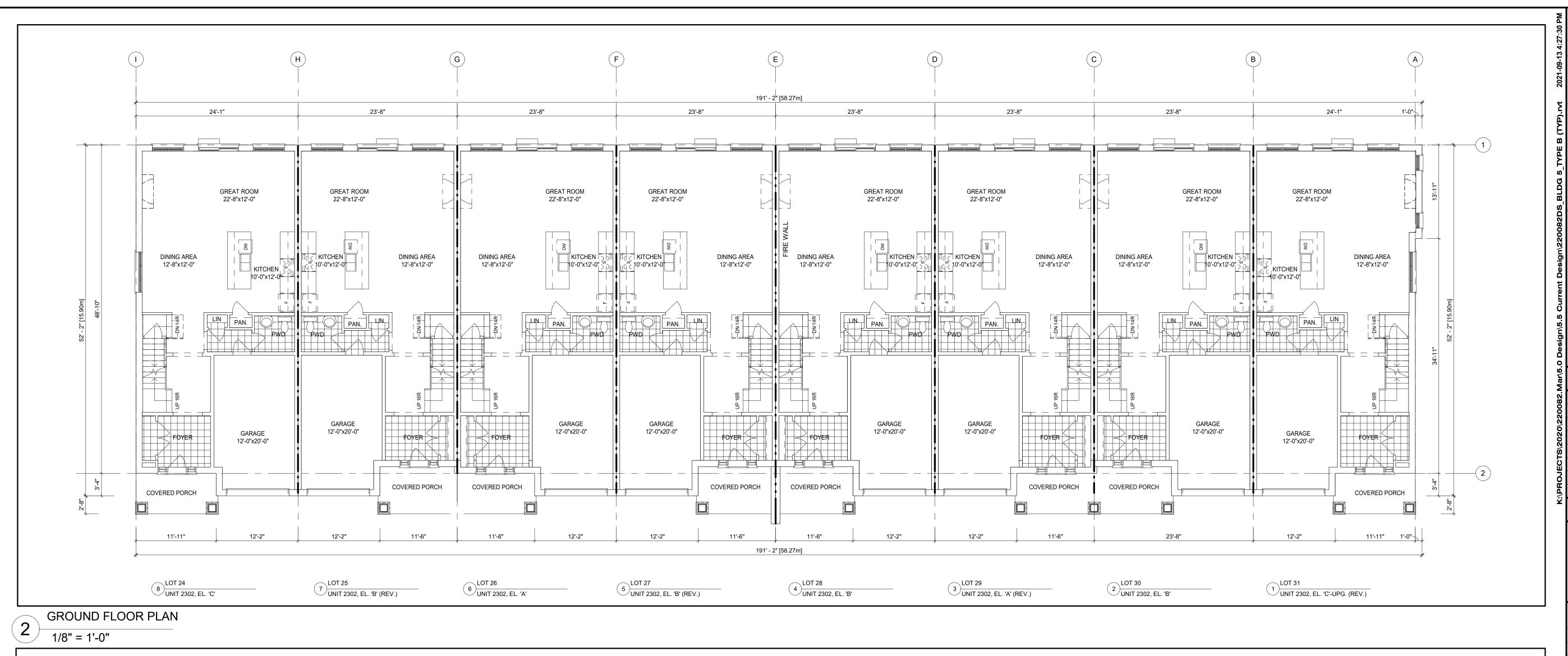


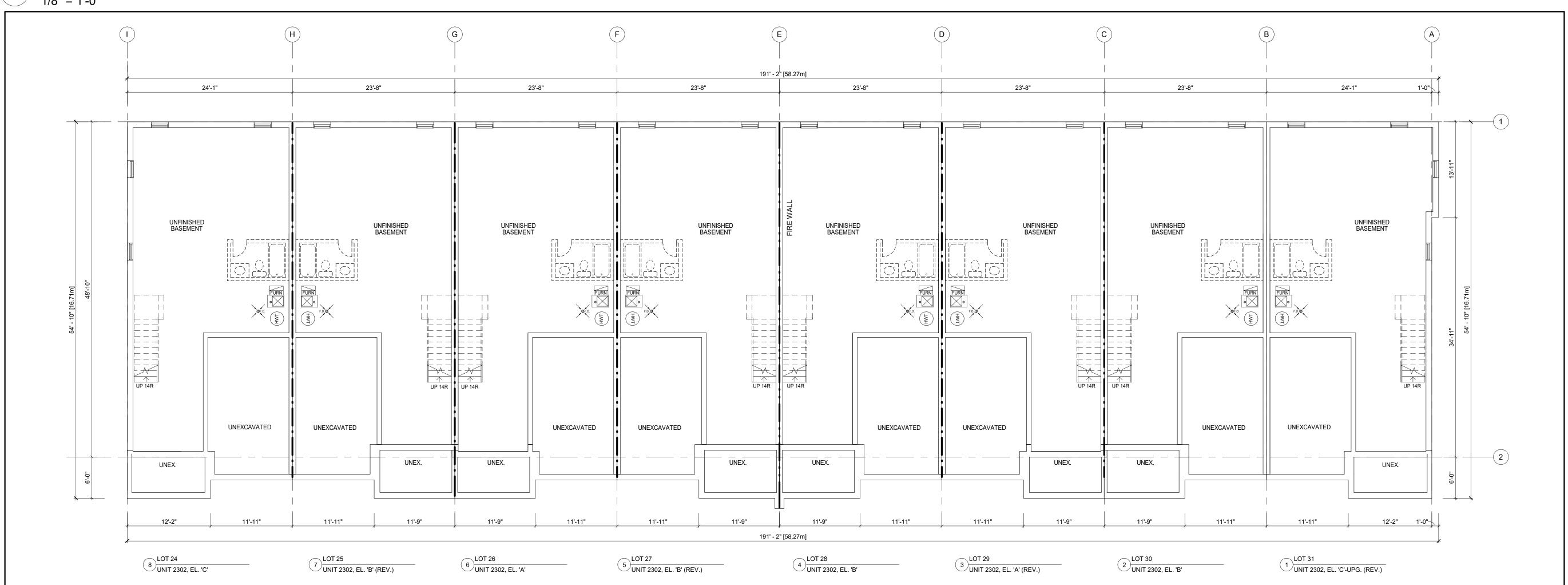
2 FRONT ELEVATION

1/8" = 1'-0"



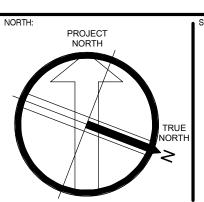
APPLICATION NUMBER: APPLICATION NUMBER: THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF ARCHITECTURE INC.' THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE, AND MUST NOTIFY '4 ARCHITECTURE INC.' OF ANY VARIATION FROM THE SUPPLIED INFORMATION. 4 ARCHITECTURE INC.' IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC., ENGINEERING INFORMATION SHOWN ON THIS DRAWING. REFER TO THE PROPER ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES ALL ARCHITECTURAL SYMBOLS INDICATED ARE GRAPHIC REPRESENTATIONS ONLY. AWINGS ARE NOT TO BE SCALED. MATERIAL LEGEND 1 BRICK VENEER 1 2 BRICK VENEER 2 (3) VERTICAL SIDING 4 HORIZONTAL SIDING (5) ASPHALT SHINGLES 6 ALUMINUM FRIEZE BOARD 7 PRECAST CONC. SILL / BANDING 8 BRICK SOLDIER COURSE 9 ALUMINIUM RAILING 10 PRIVACY SCREEN ISSUED FOR SPA SUBMISSION 2021.09.13 S YYYY.MM.DD By MARSHALL HOMES 4 ARCHITECTURE NC. 8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7 T. (905) 470 7212 // F. (905) 737 7326 email: mail@4architecture.ca MARSHALL HOMES - 220082 COBOURG, ON. **ELEVATIONS** - BUILDING 4 (TYPE 'A') 2021.09.13 1/8" = 1'-0" File Name
220082DS_BLDG 4_TYPE B.rvt





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ISSUED FOR SPA SUBMISSION



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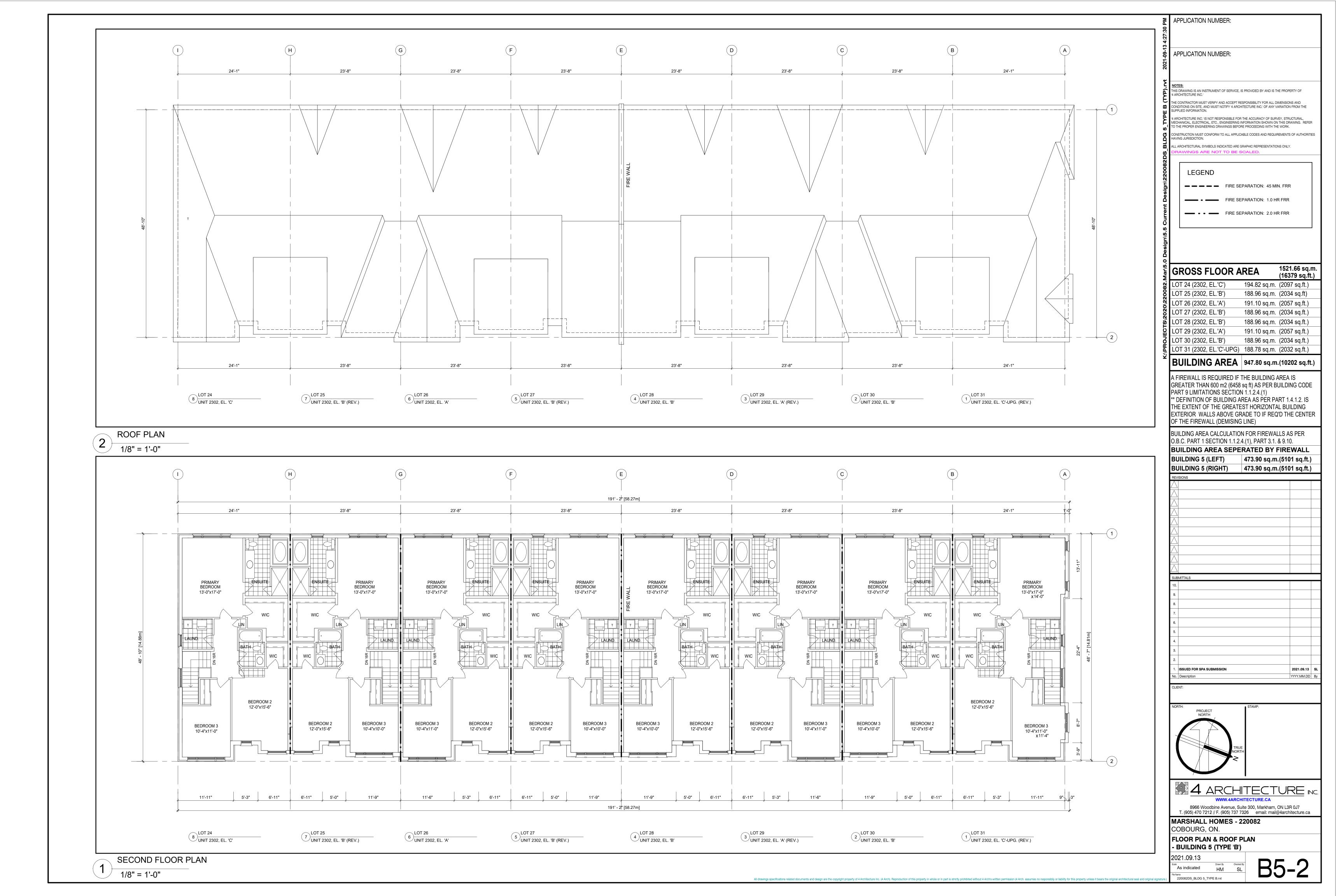
COBOURG, ON. FLOOR PLANS

- BUILDING 5 (TYPE 'B') 2021.09.13 As indicated

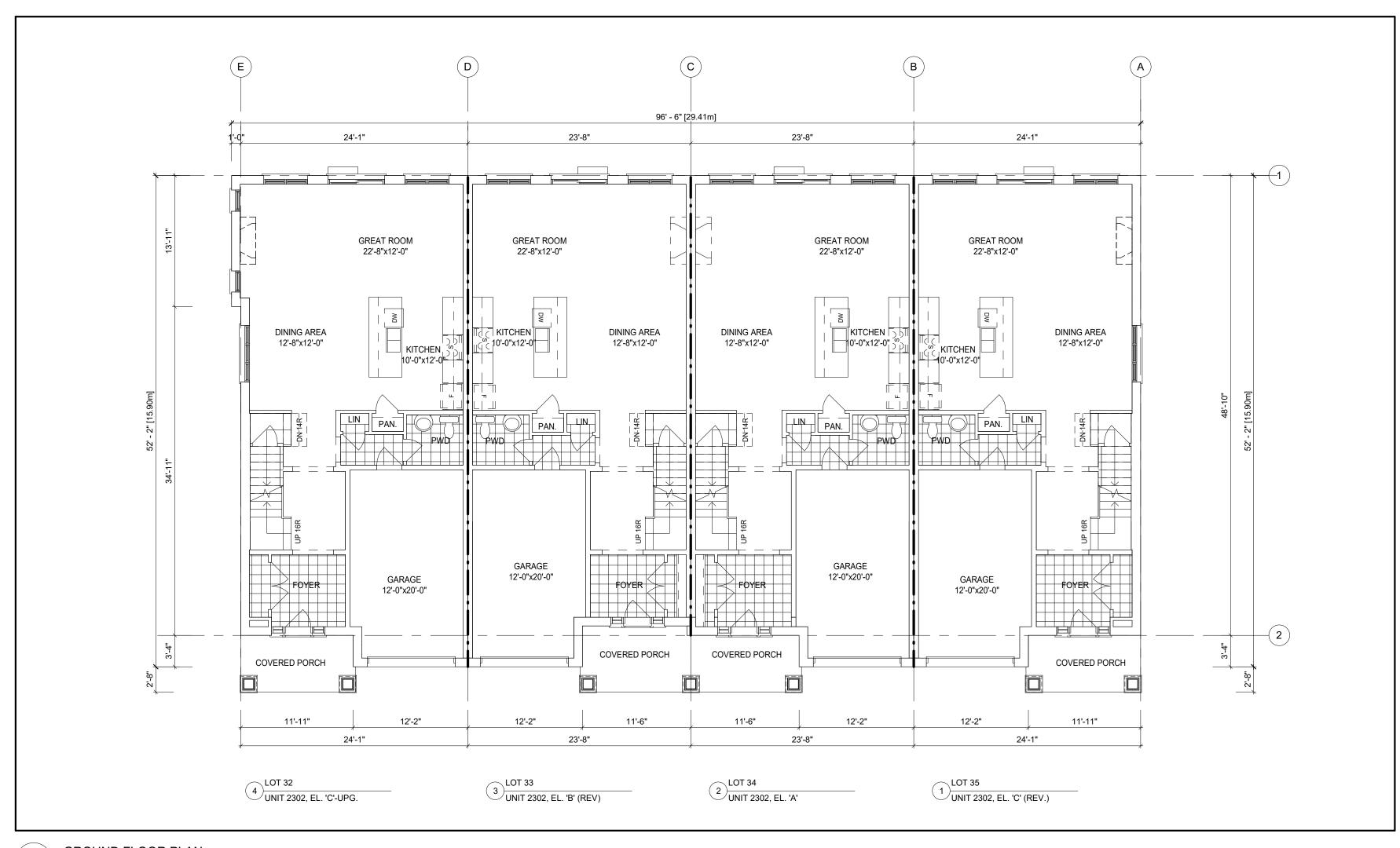
220082DS_BLDG 5_TYPE B.rvt

BASEMENT FLOOR PLAN

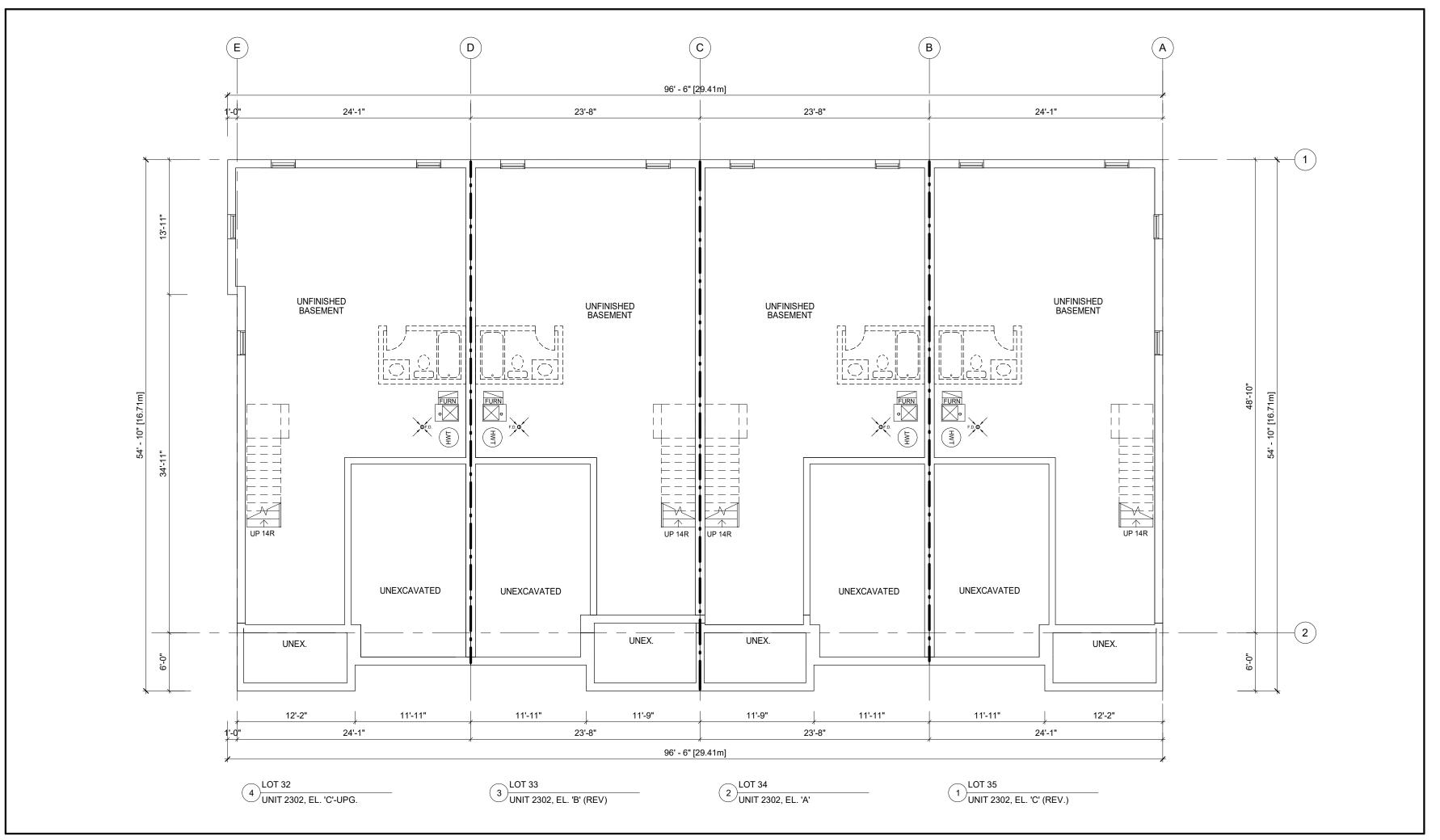
1/8" = 1'-0"







GROUND FLOOR PLAN
1/8" = 1'-0"



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8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7 T. (905) 470 7212 // F. (905) 737 7326 email: mail@4architecture.ca

MARSHALL HOMES - 220082 COBOURG, ON.

FLOOR PLANS

220082DS_BLDG 6_TYPE B.rvt

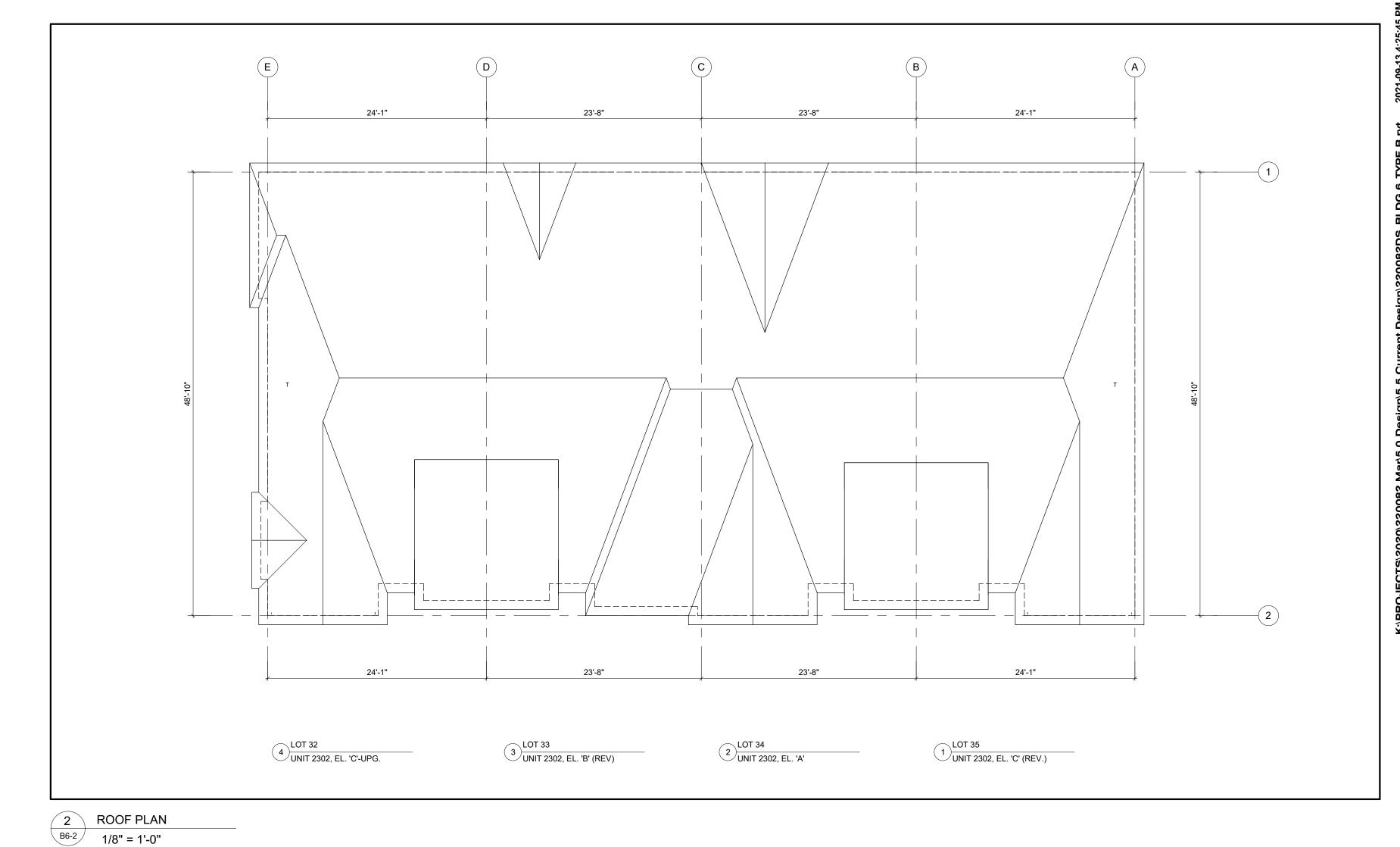
- BUILDING 6 (TYPE 'B')

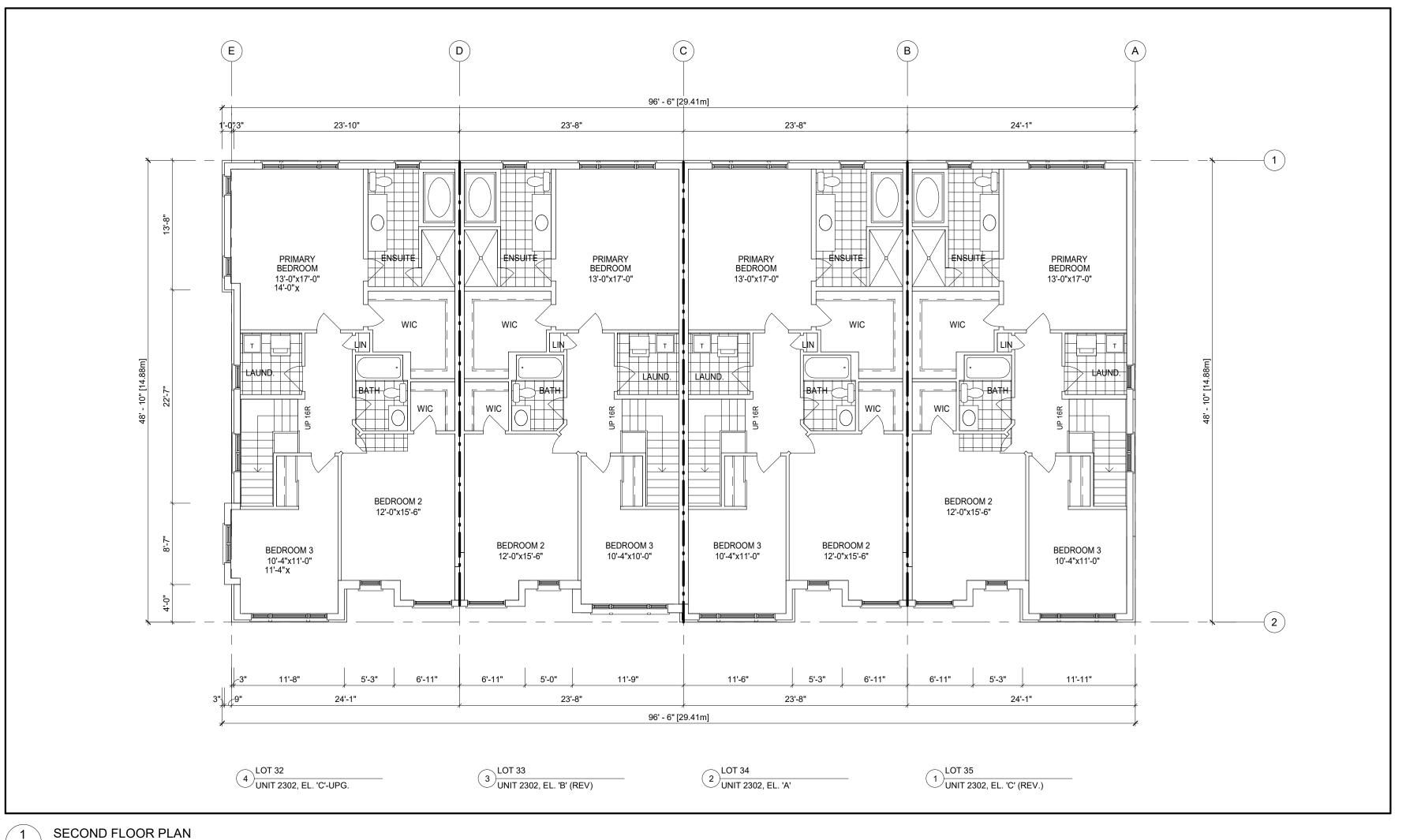
2021.09.13

Scale Drawn By Checked By HM SI

B6-1

1 BASEMENT FLOOR PLAN
1/8" = 1'-0"





B6-2 1/8" = 1'-0"

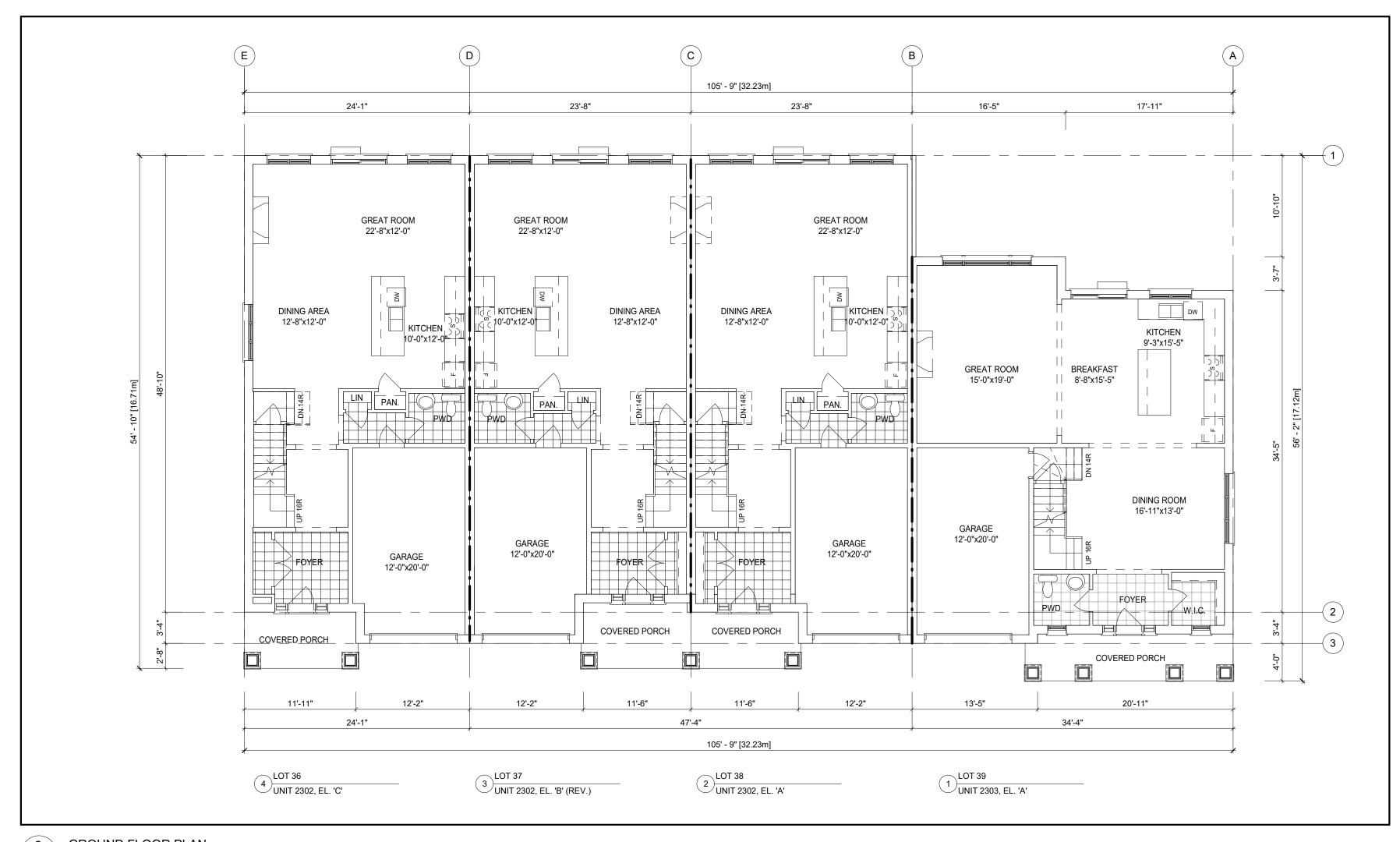
▲ APPLICATION NUMBER: APPLICATION NUMBER: THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF 4 ARCHITECTURE INC.' THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE, AND MUST NOTIFY '4 ARCHITECTURE INC.' OF ANY VARIATION FROM THE SUPPLIED INFORMATION. '4 ARCHITECTURE INC.' IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC., ENGINEERING INFORMATION SHOWN ON THIS DRAWING. REFER TO THE PROPER ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES ALL ARCHITECTURAL SYMBOLS INDICATED ARE GRAPHIC REPRESENTATIONS ONLY. RAWINGS ARE NOT TO BE SCALED. LEGEND FIRE SEPARATION: 45 MIN. FRR FIRE SEPARATION: 1.0 HR FRR FIRE SEPARATION: 2.0 HR FRR 772.95 sq.m. GROSS FLOOR AREA (8320 sq.ft.) LOT 32 (2302, EL.'C'-UPG) 198.07 sq.m. (2132 sq.ft.) 188.96 sq.m. (2034 sq.ft) LOT 33 (2302, EL.'B') 191.10 sq.m. (2057 sq.ft.) LOT 34 (2302, EL.'A') LOT 35 (2302, EL.'C') 194.82 sq.m. (2097 sq.ft.) 0.00 sq.m. (0 sq.ft.) 0.00 sq.m. (0 sq.ft.) 0.00 sq.m. (0 sq.ft.) 0.00 sq.m. (0 sq.ft.) **BUILDING AREA** 477.34 sq.m.(5138 sq.ft.) A FIREWALL IS REQUIRED IF THE BUILDING AREA IS GREATER THAN 600 m2 (6458 sq ft) AS PER BUILDING CODE PART 9 LIMITATIONS SECTION 1.1.2.4.(1) ** DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2. IS THE EXTENT OF THE GREATEST HORIZONTAL BUILDING EXTERIOR WALLS ABOVE GRADE TO IF REQ'D THE CENTER OF THE FIREWALL (DEMISING LINE) BUILDING AREA CALCULATION FOR FIREWALLS AS PER O.B.C. PART 1 SECTION 1.1.2.4.(1), PART 3.1. & 9.10. **BUILDING AREA SEPERATED BY FIREWALL** 0.00 sq.m. (0 sq.ft.) 0.00 sq.m. (0 sq.ft.) ISSUED FOR SPA SUBMISSION 2021.09.13 YYYY.MM.DD By MARSHALL HOMES 8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7 T. (905) 470 7212 // F. (905) 737 7326 email: mail@4architecture.ca MARSHALL HOMES - 220082

COBOURG, ON.

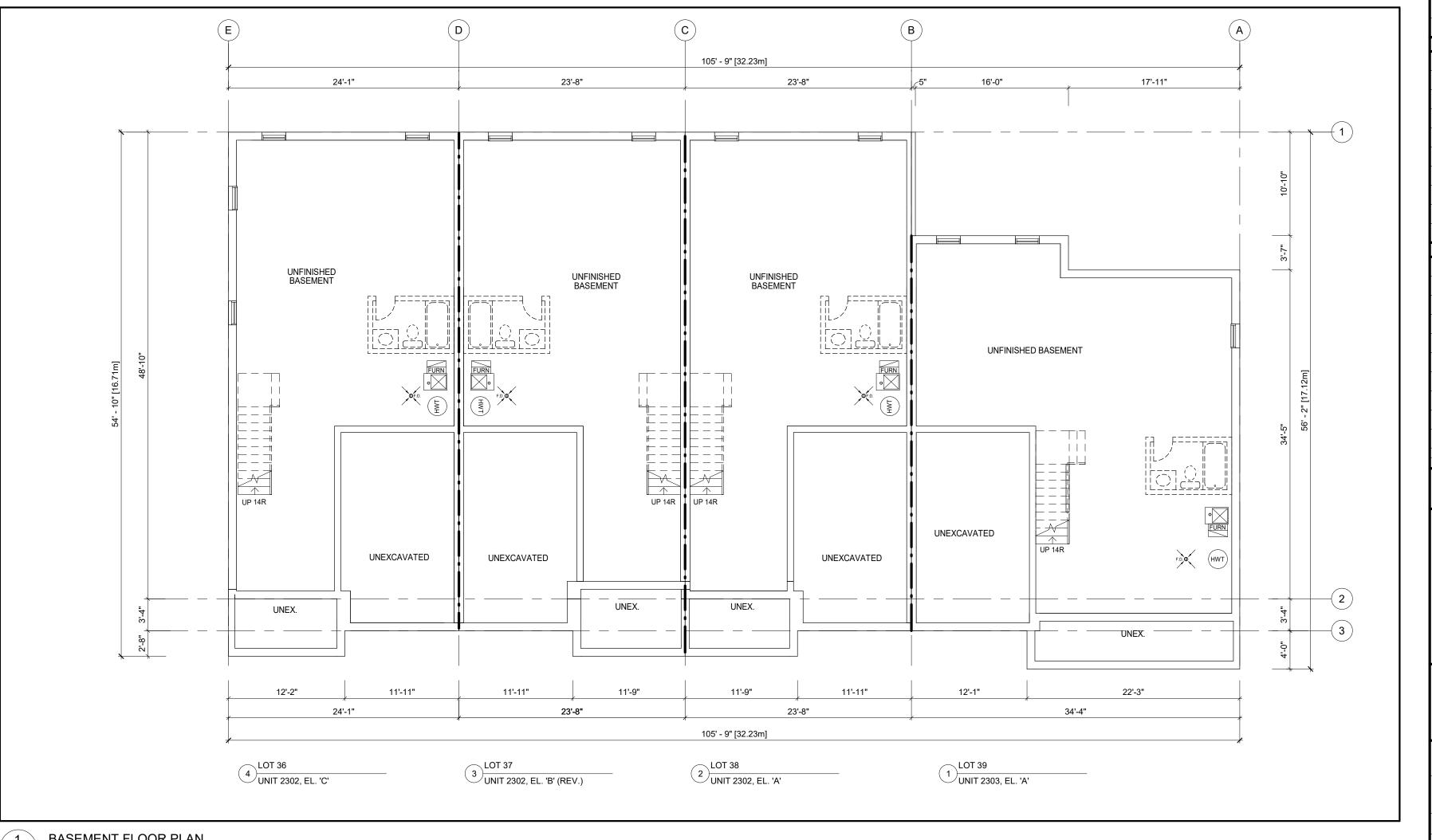
FLOOR PLANS

- BUILDING 6 (TYPE 'B') 2021.09.13 Drawn By Checked By As indicated File Name
220082DS_BLDG 6_TYPE B.rvt





2 GROUND FLOOR PLAN 1/8" = 1'-0"

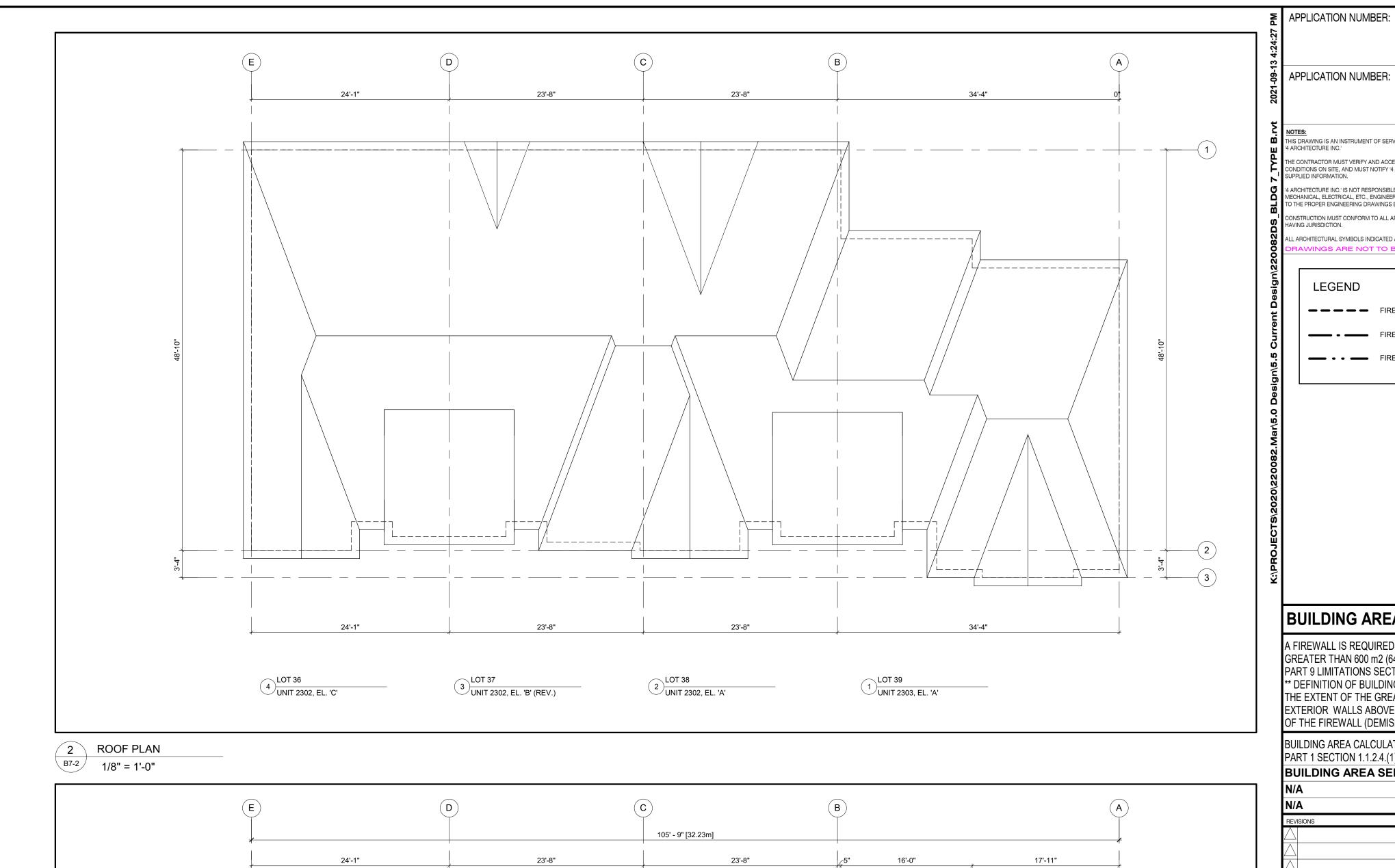


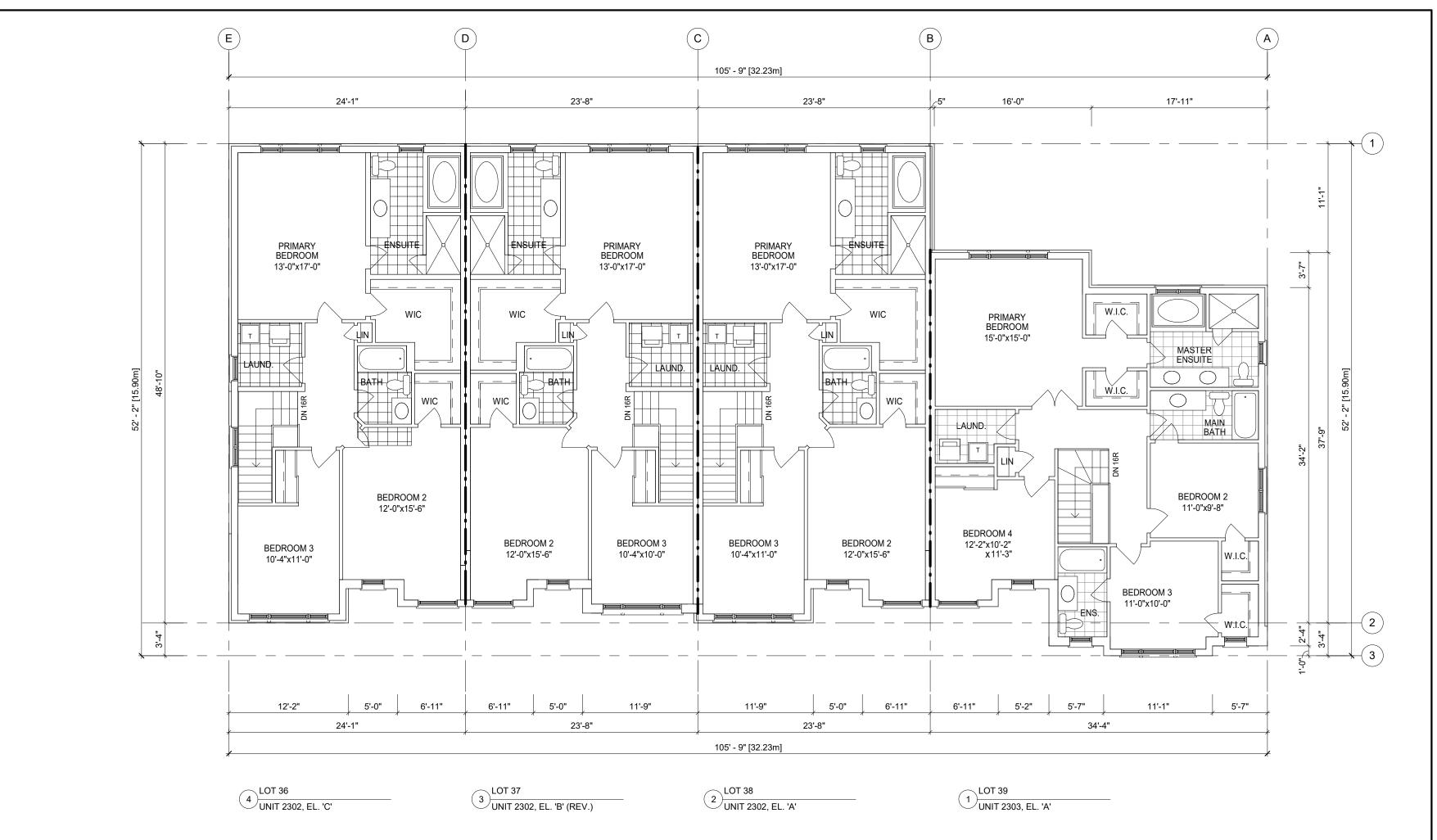
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220082DS_BLDG 7_TYPE B.rvt

BASEMENT FLOOR PLAN

1/8" = 1'-0"





SECOND FLOOR PLAN

1/8" = 1'-0"

APPLICATION NUMBER: THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE, AND MUST NOTIFY '4 ARCHITECTURE INC.' OF ANY VARIATION FROM THE SUPPLIED INFORMATION. 4 ARCHITECTURE INC.' IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC., ENGINEERING INFORMATION SHOWN ON THIS DRAWING. REFER TO THE PROPER ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES ALL ARCHITECTURAL SYMBOLS INDICATED ARE GRAPHIC REPRESENTATIONS ONLY. RAWINGS ARE NOT TO BE SCALED. LEGEND FIRE SEPARATION: 45 MIN. FRR FIRE SEPARATION: 1.0 HR FRR FIRE SEPARATION: 2.0 HR FRR BUILDING AREA 485.70 sq.m.(5228 sq.ft.) A FIREWALL IS REQUIRED IF THE BUILDING AREA IS GREATER THAN 600 m2 (6458 sq ft) AS PER BUILDING CODE PART 9 LIMITATIONS SECTION 1.1.2.4.(1) ** DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2. IS THE EXTENT OF THE GREATEST HORIZONTAL BUILDING EXTERIOR WALLS ABOVE GRADE TO IF REQ'D THE CENTER OF THE FIREWALL (DEMISING LINE) BUILDING AREA CALCULATION FOR FIREWALLS AS PER O.B.C PART 1 SECTION 1.1.2.4.(1), PART 3.1. & 9.10. BUILDING AREA SEPERATED BY FIREWALL 0.00 sq.m. (0 sq.ft.) 0.00 sq.m. (0 sq.ft.) ISSUED FOR SPA SUBMISSION 2021.09.13

NORTH:

PROJECT
NORTH

TRUE
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4 ARCHITECTURE II
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8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7 T. (905) 470 7212 // F. (905) 737 7326 email: mail@4architecture.ca

COBOURG, ON.
FLOOR PLANS
BUILDING 7 (TYPE 'B')

2021.09.13

As indicated

File Name
220082DS_BLDG 7_TYPE B.rvt

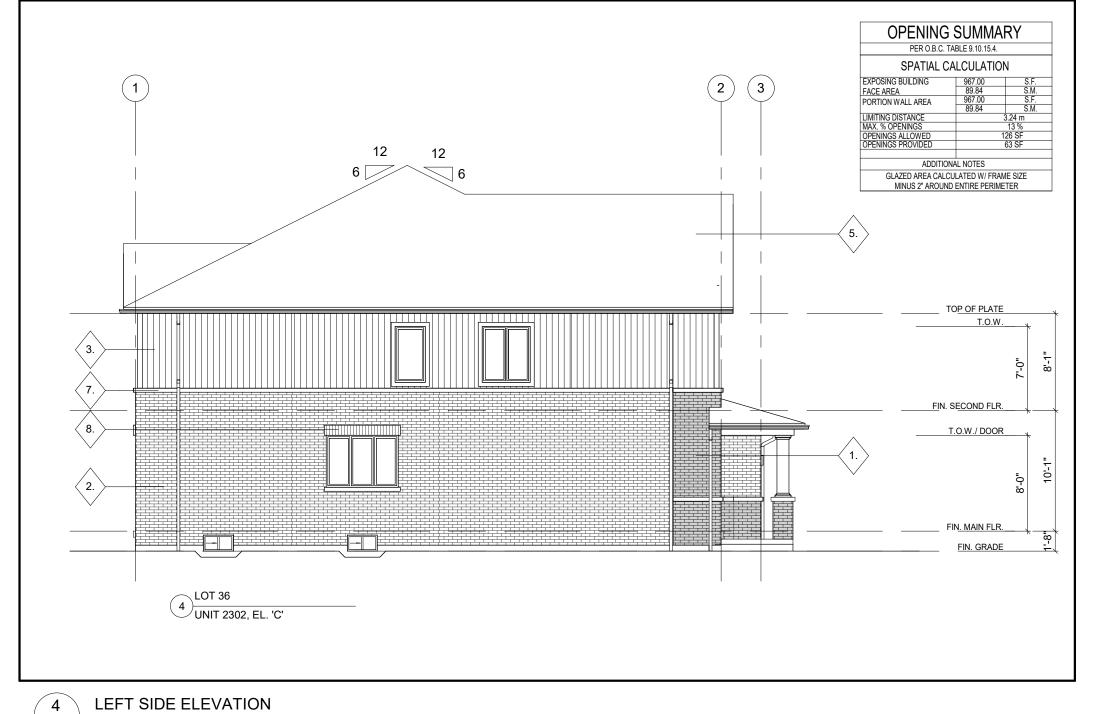
Checked By SL B7-5

YYYY.MM.DD B

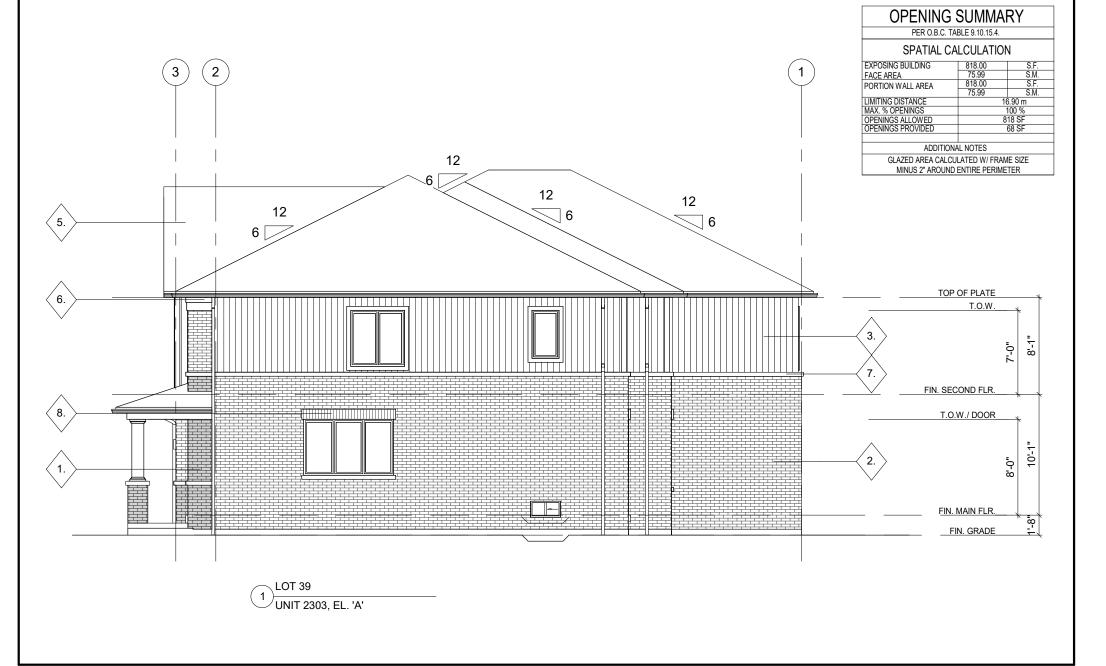
EXTERIOR COLOUR SELECTION	MANUFACTURER	1 Std. Towns	2 RL Towns	3 Stacked Towns
Roof	BP Mystique	2-Tone Black	2-Tone Black	2-Tone Black
Soffit, Eavestroughs, RWL and Freize Board	Giancola Aluminum	Slate	Iron Ore	Slate
Brick 1 (Base Brick)	Meridian Brick	Portland	Vanier	Vanier
Brick 2 (Upper Brick)	Meridian Brick	Kelowna	Portland	Kelowna
Vinyl Siding, (including corner trim & caping)	Mitten	Stratus	White	Stratus
Non-combustible Siding Where required	James Hardie	C	colour to match Vinyl Sidir	ng
Front Door & Garage Door	Sherwin Williams	Perle Noir SW 9154	Perle Noir SW 9154	Perle Noir SW 9154
Prefinished Exterior Trim, Panels, Exterior Posts & Door Frame	Sherwin Williams	Popular Gray SW6071	Popular Gray SW6071	Popular Gray SW6071
Windows	Newmar	Black	Black	Black
Railings	Airport Railing	Black	Black	Black

B7-3

1/8" = 1'-0"



B7-3 1/8" = 1'-0"



RIGHT SIDE ELEVATION

1/8" = 1'-0"

FRONT ELEVATION

TO THE STATE OF THE STATE O

APPLICATION NUMBER: APPLICATION NUMBER: THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE, AND MUST NOTIFY '4 ARCHITECTURE INC.' OF ANY VARIATION FROM THE SUPPLIED INFORMATION. 4 ARCHITECTURE INC.' IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC., ENGINEERING INFORMATION SHOWN ON THIS DRAWING. REFER TO THE PROPER ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES ALL ARCHITECTURAL SYMBOLS INDICATED ARE GRAPHIC REPRESENTATIONS ONLY. WINGS ARE NOT TO BE SCALED. MATERIAL LEGEND 1 BRICK VENEER 1 2 BRICK VENEER 2 (3) VERTICAL SIDING 4 HORIZONTAL SIDING (5) ASPHALT SHINGLES 6 ALUMINUM FRIEZE BOARD 7 PRECAST CONC. SILL / BANDING 8 BRICK SOLDIER COURSE 9 ALUMINIUM RAILING 10 PRIVACY SCREEN

8.
7.
6.
5.
4.
3.
2.
1. ISSUED FOR SPA SUBMISSION
No. Description

CLIENT:

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WWW.4ARCHITECTURE INC.

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8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7
T. (905) 470 7212 // F. (905) 737 7326 email: mail@4architecture.ca

MARSHALL HOMES - 220082

COBOURG, ON.

ELEVATIONS

BUILDING 7 (TYPE 'B')

File Name
220082DS_BLDG 7_TYPE B.rvt

2021.09.13

1/8" = 1'-0"

BUILDING 8 Firm Name: 4 ARCHITECTURE INC 8966 Woodbine Avenue, Suite 300 Markham, ON, L3R 0J7 T.905.470.7121 / F.905.737.7326 / email : mail@4architecture.ca Certificate of Practice Number: The Certificate of Practice Number of Registered OAA Architect. control with respect to design activities. The architect's seal number is the architect's BCDN as Name of Project: Marshall Homes required under the Building Code Designation Cobourg, Ontario **Project Location** Ontario Building Code Building Code Reference References are to Division B unless noted [A] for Division A or [C] for Division C. Data Matrix Part 3 or 9 New Part 11 1 Project Description: Addition 11.1 to 11.4 1.1.2. [A] & 9.10.1.3. 1.1.2. [A] Change of Use Group C (Residential) 3.1.2.1(1) 9.10.2. 2 Major Occupancy(s) | 1.4.1.2.[A] 3 Building Area (m2) Existing 0 sq. m. New 488 m2 1.4.1.2.[A] 4 Gross Area 1.4.1.2.[A] 1.4.1.2.[A] 1.4.1.2[A]&3.2.1.1. 1.4.1.2[A]&9.10.4 5 Number of Storeys Above Grade Below Grade 6 Height of Building (m) 7 Number of Streets / Fire Fighter Access 3.2.2.10.&3.2.5. 3.2.2.20.-.83 9.10.2. 8 Building Classification 9 Sprinkler System Proposed Entire Building Selected Compartments Selected Floor Areas 3.2.2.20.-.83 | 3.2.2.17. | 9.10.8.2 | 3.2.1.5. | INDEX | INDEX Basement In Lieu of Roof Rating Not Required N/A 10 Standpipe required 3.2.4. 9.10.18. 11 Fire Alarm required 3.2.5.7. N/A 12 Water Service / Supply is Adequate 3.2.6. N/A 13 High Building 3.2.2.20.-.83 9.10.6. 14 Permitted Construction Non-Combustible Required Actual Construction Non-Combustible 15 Mezzanine(s) Area m2 3.2.1.1.(3)_(8) 9.10.4.1 3.1.17. 9.9.1.3. 16 Occupant load based on Design of Building Total Occupant Load Main Floor: OCCUPANCY 20 Main Floor: OCCUPANCY 20 Second Floor: OCCUPANCY Third Floor: OCCUPANCY Ground Floor: OCCUPANCY Third Floor: OCCUPANCY 40 Residential occupancies are based on 2 persons per bedroom for each dwelling unit 80 persons 17 Barrier Free Design 9.5.2. 18 Hazardous Substances 3.3.1.2.&3.3.1.19. 9.10.1.3.(4) 19 Required Fire 3.2.2.20.-.83 & Description (SB-2) FRR (Hours) 3.2.1.4 9.10.9. Rating (FRR) Floors 1 HR b/t Unit; 0.75 HR within Unit NO RATING REQ'D Mezzanine N/A FRR of Supporting Listed Design No. Or Description (SB-2) Floors 1 HR b/t Unit; 0.75 HR within Unit NO RATING REQ'D Mezzanine 20 Spatial Separation - Construction of Exterior Walls Comb. Comb. Clad. Non-comb. Constr. Clad. Area of EBF | L.D. | L/H or | Permitted | Proposed % | FRR Max % of of Openings Design or FRONT R1 2201 C R1 2202 C YES YES R1 2204 C YES YES R2 2201 A YES YES R2 2202 A 15.21 YES R2 2203 A 100% YES YES R2 2204 A YES YES R3 2201 A YES YES R3 2202 A YES YES R3 2203 A YES R3 2204 A YES YES R4 2201 A R4 2202 A R4 2203 A YES R4 2204 A YES YES R5 2201 B YES YES R5 2202 B YES YES R5 2203 B R5 2204 B YES REAR | R5 | 2201 B YES YES R5 2202 B YES YES R5 2203 B R4 2201 A R4 2202 A YES YES R4 2203 A YES YES R3 2201 A YES R3 2202 A YES R3 2203 A YES YES R2 2201 A YES R2 2202 A YES YES R2 | 2203 A YES R1 2201 C YES YES YES R1 2202 C YES YES R1 2203 C LEFT R1 2201 C YES YES YES R1 2202 C R1 2203 C YES YES R1 2204 C RIGHT | R5 | 2201 B R5 2202 B R5 2203 B - Z1 YES R5 2203 B - Z2 YES YES

1 HR

YES

YES

9.3.1.1/9.31.4

9.9

9%

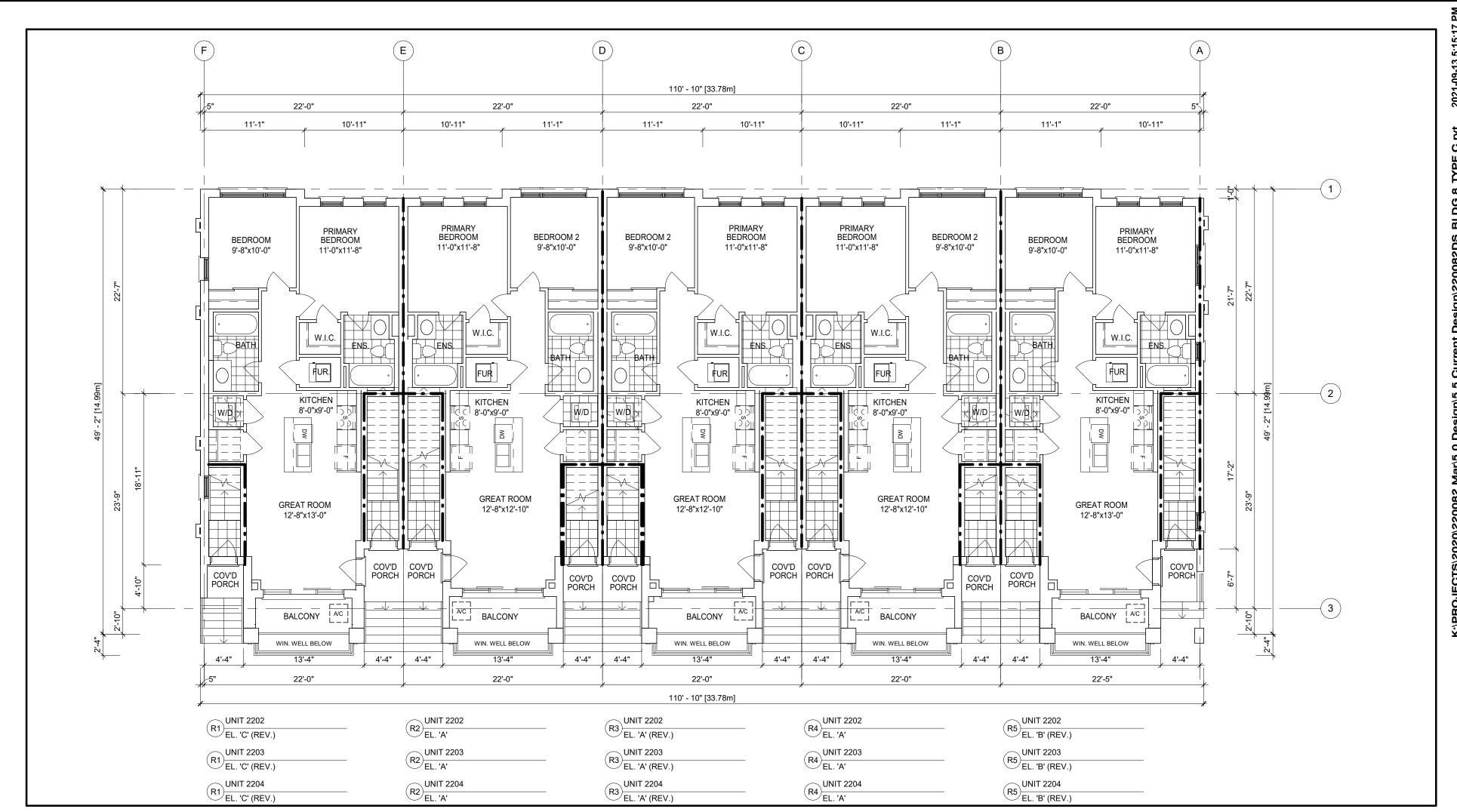
Explain:
Public Stairs: Rise = 180mm max. Run = 280mm max. Private Stairs: Rise = 200mm max. Run = 210mm min.

38.22 2.5 N/A 15%

R5 2204 B

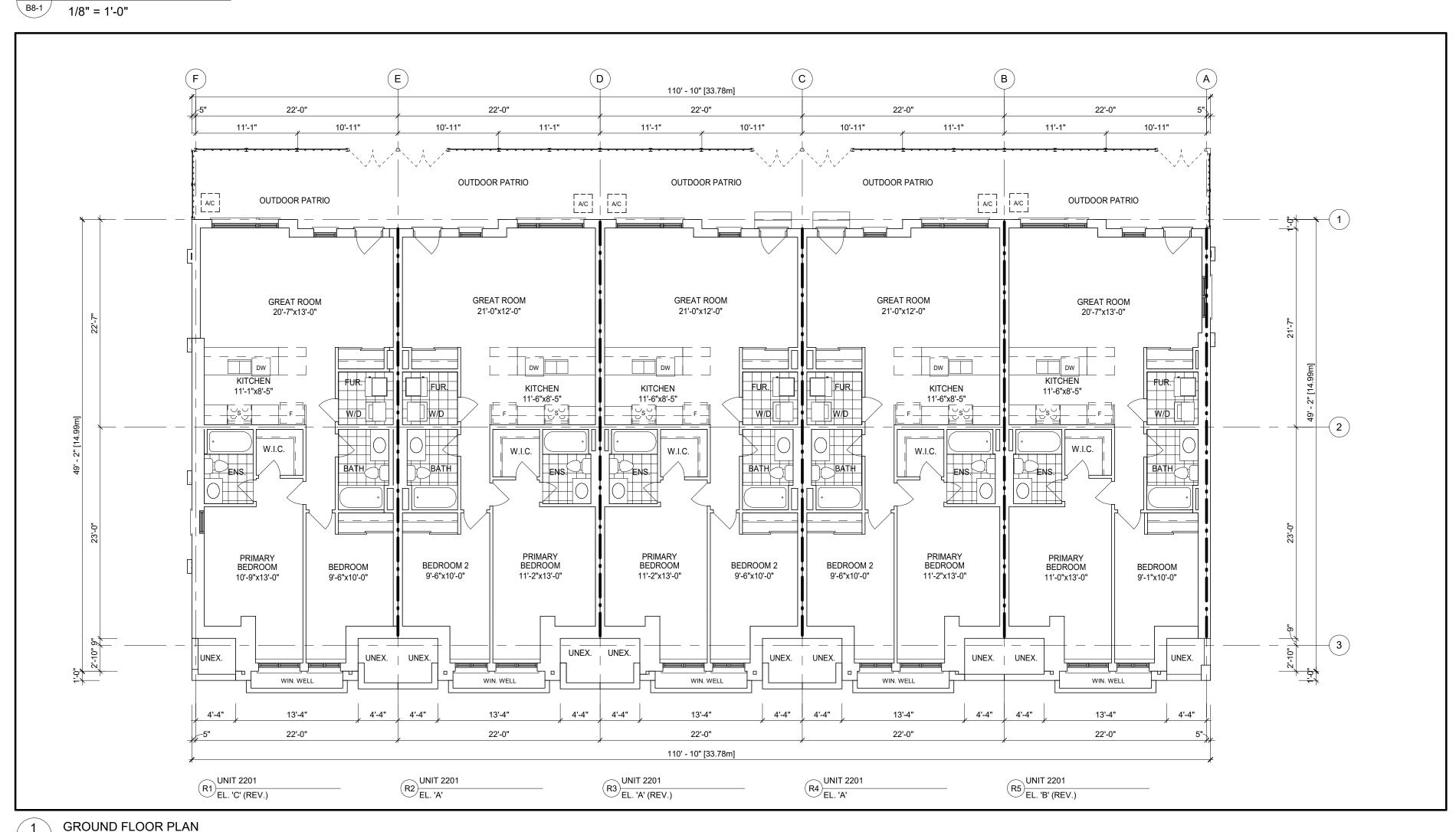
21 Washroom Fixtures = 1 MIN. per Suite

22 Means of Egress, Access to Exits &



MAIN FLOOR PLAN

1/8" = 1'-0"



4 ARCHITECTURE NC 8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7 T. (905) 470 7212 // F. (905) 737 7326 email: mail@4architecture.ca MARSHALL HOMES - 220082 COBOURG, ON **FLOOR PLANS BUILDING 8** HM 220082DS_BLDG 8_TYPE C.rvt

MARSHALL HOMES

APPLICATION NUMBER:

APPLICATION NUMBER:

ARCHITECTURE INC.

HAVING JURISDICTION.

LEGEND

HIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND

L ARCHITECTURAL SYMBOLS INDICATED ARE GRAPHIC REPRESENTATIONS ONLY.

FIRE SEPARATION: 45 MIN. FRR

FIRE SEPARATION: 1.0 HR FRR

BUILDING AREA 488.39 sq.m.(5257 sq.ft.)

GREATER THAN 600 m2 (6458 sq ft) AS PER BUILDING CODE

** DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2. IS

EXTERIOR WALLS ABOVE GRADE TO IF REQ'D THE CENTER

THE EXTENT OF THE GREATEST HORIZONTAL BUILDING

BUILDING AREA CALCULATION FOR FIREWALLS AS PER

BUILDING AREA SEPERATED BY FIREWALL

O.B.C. PART 1 SECTION 1.1.2.4.(1), PART 3.1. & 9.10.

A FIREWALL IS REQUIRED IF THE BUILDING AREA IS

PART 9 LIMITATIONS SECTION 1.1.2.4.(1)

OF THE FIREWALL (DEMISING LINE)

ISSUED FOR SPA SUBMISSION

2021.09.13

As indicated

1861.31 sq.m.

(20035 sq.ft.)

487.00 sq.m. (5242 sq.ft.)

450.86 sq.m. (4853 sq.ft)

466.84 sq.m. (5025 sq.ft.)

465.91 sq.m. (5015 sq.ft.)

0.00 sq.m. (0 sq.ft.)

0.00 sq.m. (0 sq.ft.)

2021.09.13

YYYY.MM.DD

FIRE SEPARATION: 2.0 HR FRR

AWINGS ARE NOT TO BE SCALED.

GROSS FLOOR AREA

GROUND FLOOR AREA

SECOND FLOOR AREA

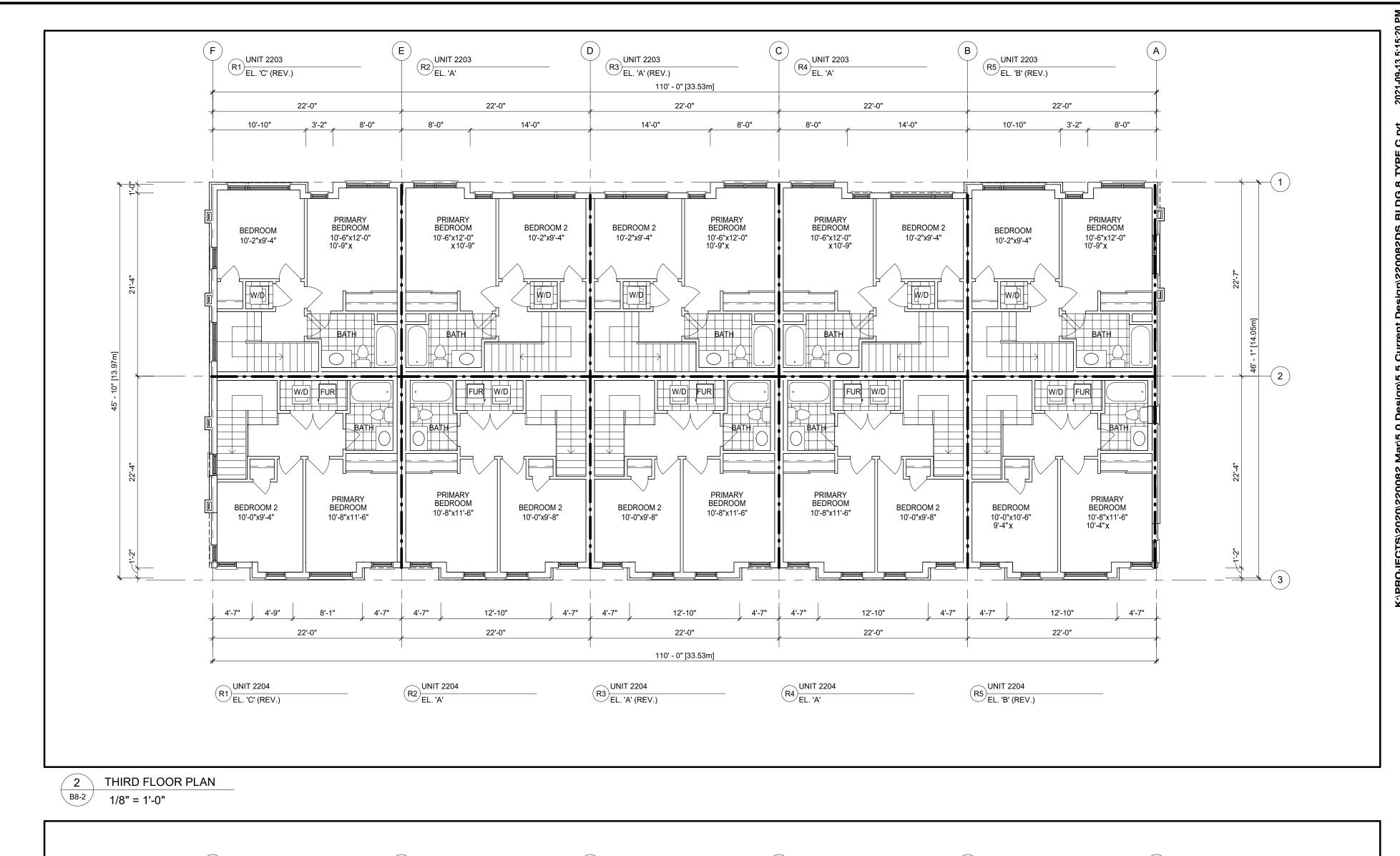
THIRD FLOOR AREA

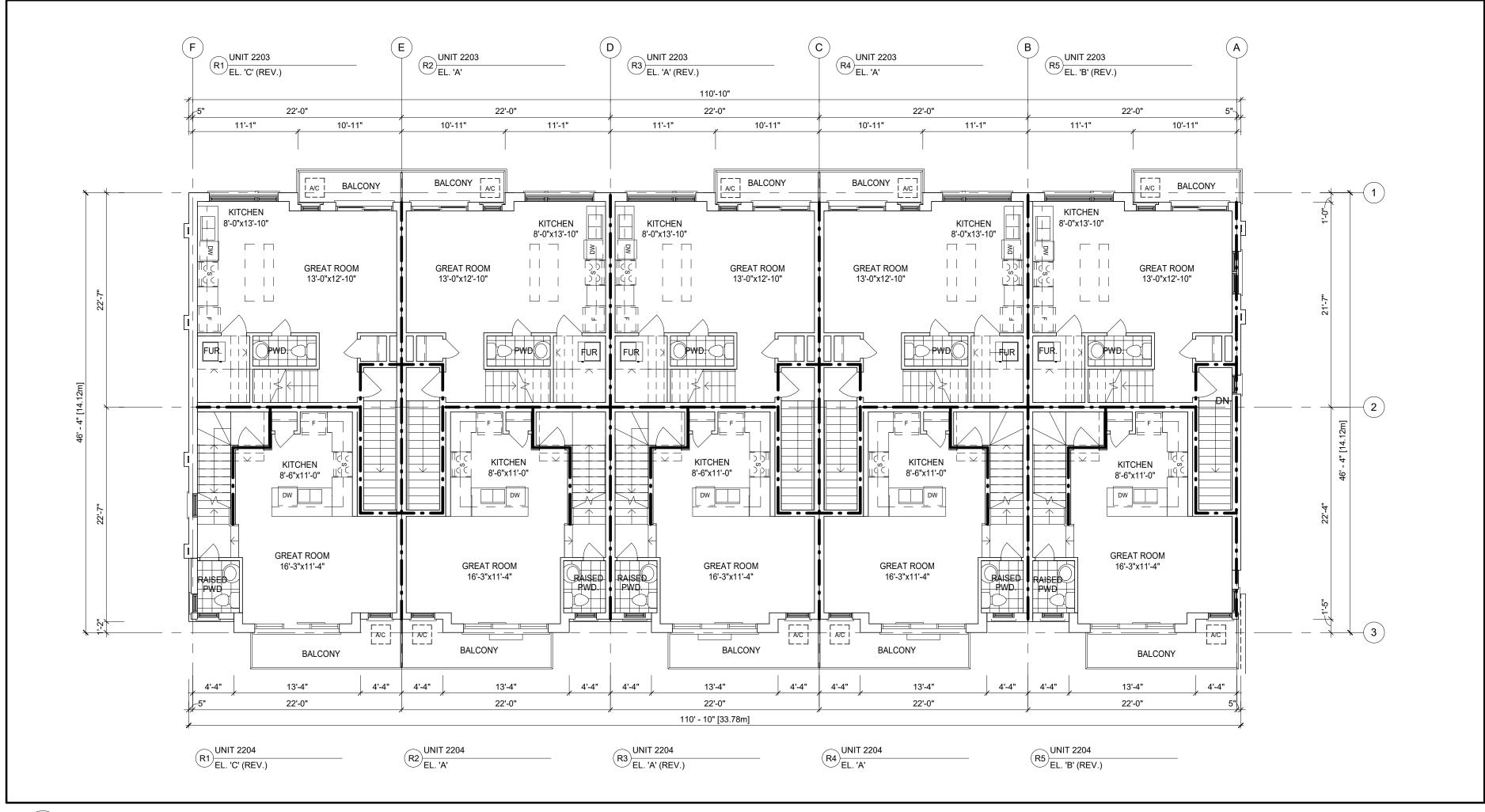
MAIN FLOOR AREA

CONDITIONS ON SITE, AND MUST NOTIFY '4 ARCHITECTURE INC.' OF ANY VARIATION FROM THE

4 ARCHITECTURE INC.' IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC., ENGINEERING INFORMATION SHOWN ON THIS DRAWING. REFER TO THE PROPER ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK.

CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES



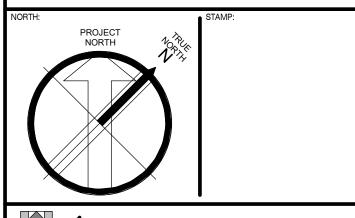


1 SECOND FLOOR PLAN

B8-2 1/8" = 1'-0"

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MARSHALL HOMES



4 ARCHITECTURE NC.

8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7 T. (905) 470 7212 // F. (905) 737 7326 email: mail@4architecture.ca

HM SL

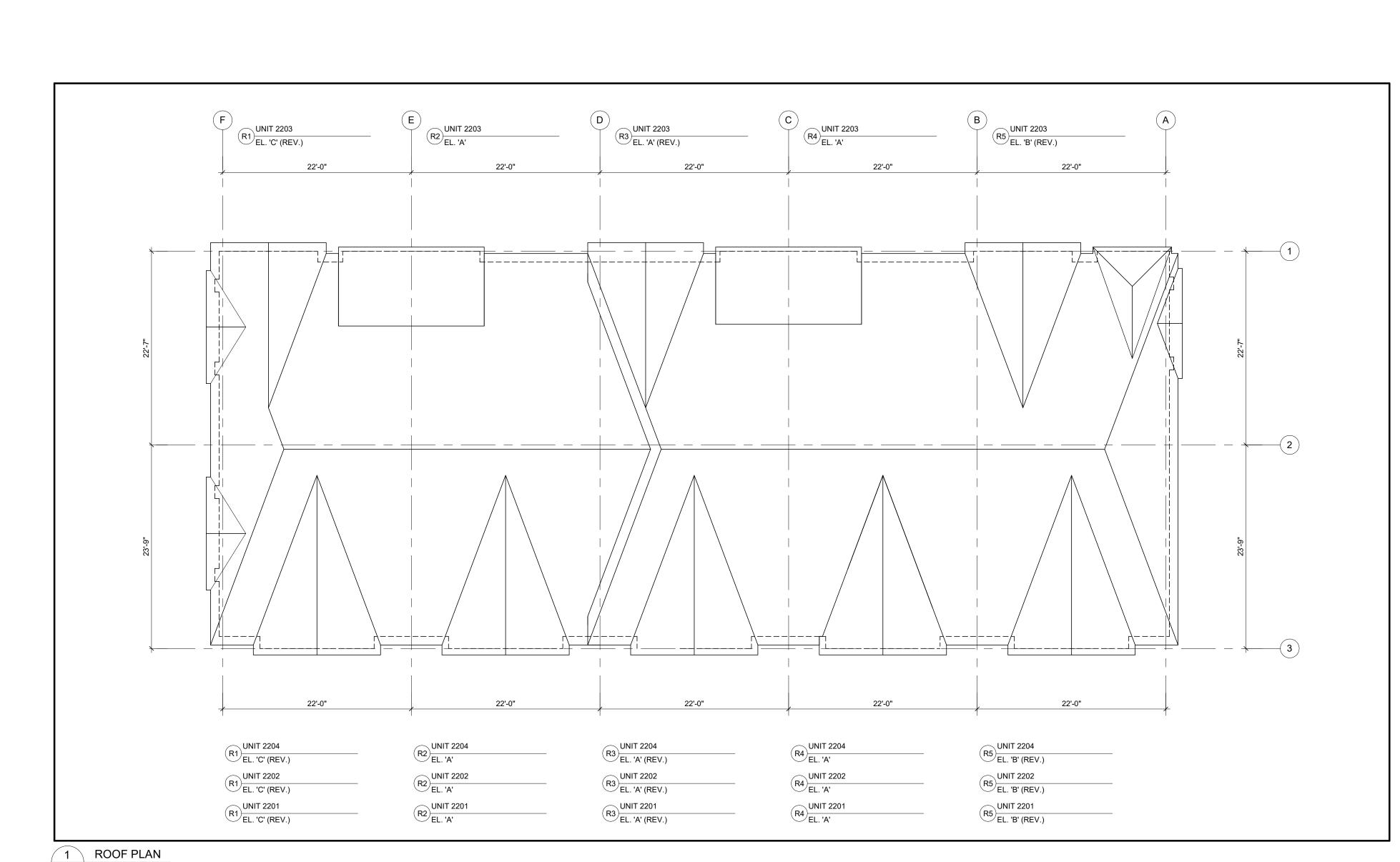
MARSHALL HOMES - 220082 COBOURG, ON FLOOR PLANS

BUILDING 82021.09.13

As indicated

220082DS_BLDG 8_TYPE C.rvt

B8-2



APPLICATION NUMBER: APPLICATION NUMBER: NOTES:
THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF '4 ARCHITECTURE INC.' THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE, AND MUST NOTIFY 4 ARCHITECTURE INC. OF ANY VARIATION FROM THE SUPPLIED INFORMATION. '4 ARCHITECTURE INC.' IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC., ENGINEERING INFORMATION SHOWN ON THIS DRAWING. REFER TO THE PROPER ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. ALL ARCHITECTURAL SYMBOLS INDICATED ARE GRAPHIC REPRESENTATIONS ONLY. DRAWINGS ARE NOT TO BE SCALED. LEGEND FIRE SEPARATION: 45 MIN. FRR FIRE SEPARATION: 1.0 HR FRR FIRE SEPARATION: 2.0 HR FRR 1861.31 sq.m. GROSS FLOOR AREA (20035 sq.ft.) GROUND FLOOR AREA 487.00 sq.m. (5242 sq.ft.) MAIN FLOOR AREA 450.86 sq.m. (4853 sq.ft) SECOND FLOOR AREA 466.84 sq.m. (5025 sq.ft.) THIRD FLOOR AREA 465.91 sq.m. (5015 sq.ft.) BUILDING AREA 488.39 sq.m.(5257 sq.ft.) A FIREWALL IS REQUIRED IF THE BUILDING AREA IS GREATER THAN 600 m2 (6458 sq ft) AS PER BUILDING CODE PART 9 LIMITATIONS SECTION 1.1.2.4.(1) ** DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2. IS THE EXTENT OF THE GREATEST HORIZONTAL BUILDING EXTERIOR WALLS ABOVE GRADE TO IF REQ'D THE CENTER OF THE FIREWALL (DEMISING LINE) BUILDING AREA CALCULATION FOR FIREWALLS AS PER O.B.C. PART 1 SECTION 1.1.2.4.(1), PART 3.1. & 9.10. **BUILDING AREA SEPERATED BY FIREWALL** 0.00 sq.m. (0 sq.ft.) 0.00 sq.m. (0 sq.ft.) 1. ISSUED FOR SPA SUBMISSION 2021.09.13 YYYY.MM.DD By MARSHALL HOMES 4 ARCHITECTURE NC. 8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7 T. (905) 470 7212 // F. (905) 737 7326 email: mail@4architecture.ca MARSHALL HOMES - 220082 COBOURG, ON **ROOF PLANS** BUILDING 8

B8-3 1/8" = 1'-0"

2021.09.13 As indicated File Name 220082DS_BLDG 8_TYPE C.rvt

EXTERIOR COLOUR SELECTION	MANUFACTURER	1 Std. Towns	2 RL Towns	3 Stacked Towns
Roof	BP Mystique	2-Tone Black	2-Tone Black	2-Tone Black
Soffit, Eavestroughs, RWL and Freize Board	Giancola Aluminum	Slate	Iron Ore	Slate
Brick 1 (Base Brick)	Meridian Brick	Portland	Vanier	Vanier
Brick 2 (Upper Brick)	Meridian Brick	Kelowna	Portland	Kelowna
Vinyl Siding, (including corner trim & caping)	Mitten	Stratus	White	Stratus
Non-combustible Siding Where required	James Hardie	С	olour to match Vinyl Sidi	ng
Front Door & Garage Door	Sherwin Williams	Perle Noir SW 9154	Perle Noir SW 9154	Perle Noir SW 9154
Prefinished Exterior Trim, Panels, Exterior Posts & Door Frame	Sherwin Williams	Popular Gray SW6071	Popular Gray SW6071	Popular Gray SW6071
Windows	Newmar	Black	Black	Black
Railings	Airport Railing	Black	Black	Black



2 FRONT ELEVATION 1/8" = 1'-0"



REAR ELEVATION 1/8" = 1'-0"

. ISSUED FOR SPA SUBMISSION MARSHALL HOMES 4 ARCHITECTURE INC.

BUILDING 8

Drawn By Checked By HM SL

2021.09.13

1/8" = 1'-0"

220082DS_BLDG 8_TYPE C.rvt

2021.09.13

YYYY.MM.DD By

APPLICATION NUMBER:

MATERIAL LEGEND

(1) BRICK VENEER 1

2 BRICK VENEER 2

(3) VERTICAL SIDING

4 HORIZONTAL SIDING

5 ASPHALT SHINGLES

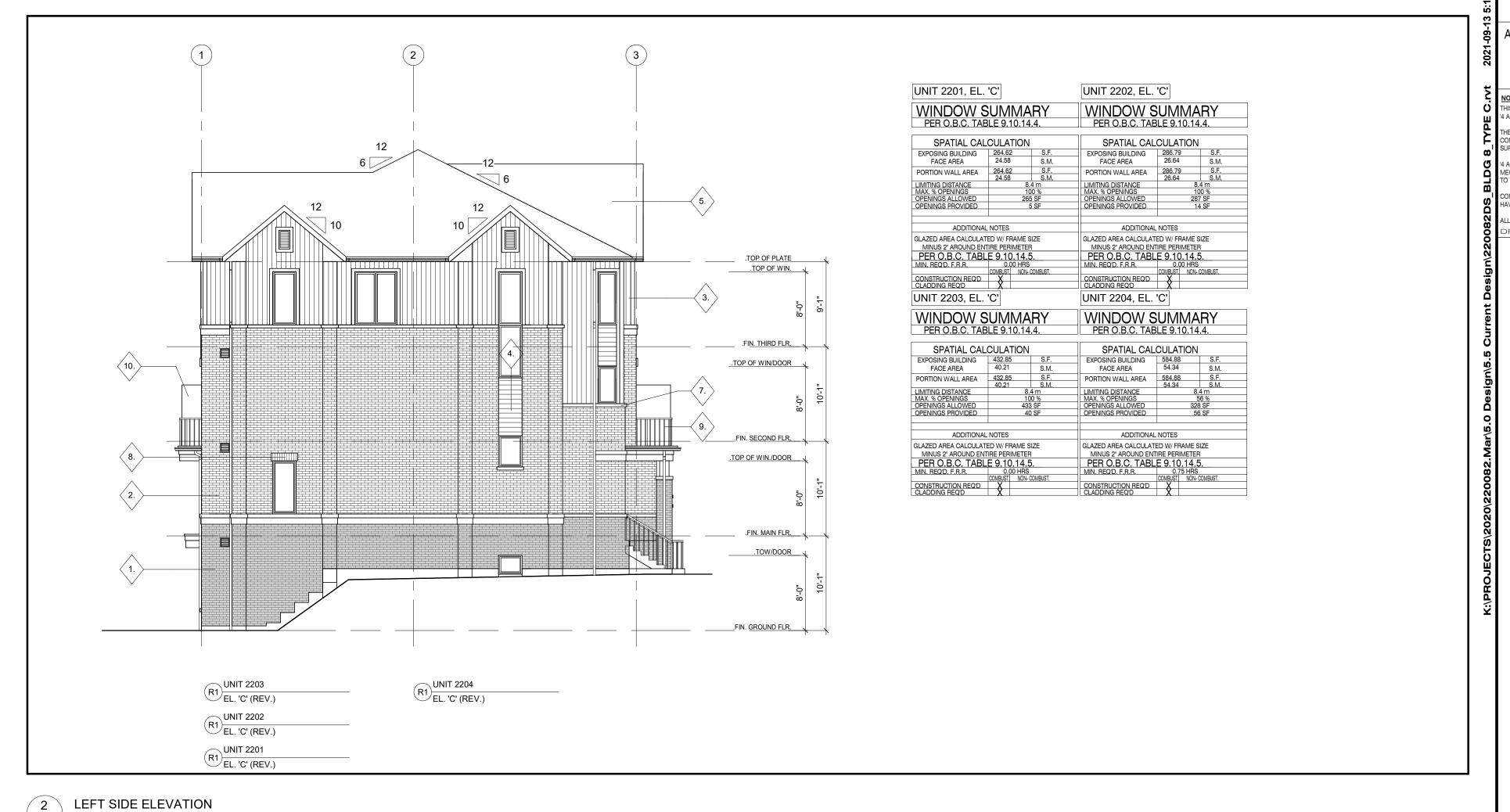
(6) ALUMINUM FRIEZE BOARD

(8) BRICK SOLDIER COURSE

9 ALUMINIUM RAILING

10 PRIVACY SCREEN

7 PRECAST CONC. SILL / BANDING



UNIT 2201, EL. 'B' UNIT 2202, EL. 'B' UNIT 2203, EL. 'B' - ZONE 1 WINDOW SUMMARY PER O.B.C. TABLE 9.10.14.4. WINDOW SUMMARY PER O.B.C. TABLE 9.10.14.4. WINDOW SUMMARY PER O.B.C. TABLE 9.10.14.4. SPATIAL CALCULATION SPATIAL CALCULATION SPATIAL CALCULATION EXPOSING BUILDING 211.51
FACE AREA 19.65 EXPOSING BUILDING 258.64 FACE AREA 24.03 EXPOSING BUILDING FACE AREA 25.67 TOP OF PLATE TOP OF WIN. PORTION WALL AREA 258.64 S.F. 24.03 S.M. PORTION WALL AREA 276.35 S.F. 25.67 S.M. PORTION WALL AREA ADDITIONAL NOTES ADDITIONAL NOTES ADDITIONAL NOTES GLAZED AREA CALCULATED W/ FRAME SIZE
MINUS 2° AROUND ENTIRE PERIMETER
PER O.B.C. TABLE 9.10.14.5.
MIN. REQD. F.R.R. 1.00 HRS
COMBUST NON-COMBUST.
CONSTRUCTION REQD X
CLADDING REQD X GLAZED AREA CALCULATED W/ FRAME SIZE GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2' AROUND ENTIRE PERIMETER
PER O.B.C. TABLE 9.10.14.5.
MIN. REQD. F.R.R. 1.00 HRS
COMBUST NON-COMBUST.
CONSTRUCTION REQD X
CLADDING REQD X
X TOP OF WIN./DOOR UNIT 2204, EL. 'B' UNIT 2203, EL. 'B' - ZONE 2 WINDOW SUMMARY PER O.B.C. TABLE 9.10.14.4. WINDOW SUMMARY PER O.B.C. TABLE 9.10.14.4. FIN. SECOND FLR. SPATIAL CALCULATION SPATIAL CALCULATION TOP OF WIN/DOOR EXPOSING BUILDING 411.44 FACE AREA 38.22 EXPOSING BUILDING 387.56 FACE AREA 36.01 FACE AREA PORTION WALL AREA 411.44
38.22 PORTION WALL AREA 387.56 36.01 FIN. MAIN FLR. ADDITIONAL NOTES ADDITIONAL NOTES GLAZED AREA CALCULATED W/ FRAME SIZE GLAZED AREA CALCULATED W/ FRAME SIZE TOW/DOOR MINUS 2" AROUND ENTIRE PERIMETER
PER O.B.C. TABLE 9.10.14.5.
MIN. REQ'D. F.R.R. 1.00 HRS
COMBUST NON-COMBUST.
CONSTRUCTION REQ'D X
CLADDING REQ'D X MINUS 2" AROUND ENTIRE PERIMETER
PER O.B.C. TABLE 9.10.14.5
MIN. REQD. F.R.R. 1.00 HRS FIN. GROUND FLR. R5 UNIT 2204 EL. 'B' (REV.) R5 UNIT 2203 EL. 'B' (REV.) R5 UNIT 2202 EL. 'B' (REV.) R5 UNIT 2201 EL. 'B' (REV.)

1 RIGHT SIDE ELEVATION

1/8" = 1'-0"

1/8" = 1'-0"

APPLICATION NUMBER: APPLICATION NUMBER: THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF 4 ARCHITECTURE INC.' THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE, AND MUST NOTIFY '4 ARCHITECTURE INC.' OF ANY VARIATION FROM THE SUPPLIED INFORMATION. '4 ARCHITECTURE INC.' IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC., ENGINEERING INFORMATION SHOWN ON THIS DRAWING. REFER TO THE PROPER ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES ILL ARCHITECTURAL SYMBOLS INDICATED ARE GRAPHIC REPRESENTATIONS ONLY. PRAWINGS ARE NOT TO BE SCALED. **MATERIAL LEGEND** (1) BRICK VENEER 1 2 BRICK VENEER 2 (3) VERTICAL SIDING 4 HORIZONTAL SIDING (5) ASPHALT SHINGLES 6 ALUMINUM FRIEZE BOARD (7) PRECAST CONC. SILL / BANDING 8 BRICK SOLDIER COURSE (9) ALUMINIUM RAILING (10) PRIVACY SCREEN . ISSUED FOR SPA SUBMISSION 2021.09.13

No. Description YYYY.MM.DD B

CLIENT:

MARSHALL HOMES

NORTH:

STAMP:

4 ARCHITECTURE INC.
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COBOURG, ON ELEVATIONS

2021.09.13

Scale 1/8" = 1'-0"

Drawn By Checked By HM SL

220082DS_BLDG 8_TYPE C.rvt

B8-5

BUILDING 9 Firm Name: 8966 Woodbine Avenue, Suite 300 Markham, ON. L3R 0J7 T.905.470.7121 / F.905.737.7326 / email : mail@4architecture.ca Certificate of Practice Number: The architect noted above has exercised responsible control with respect to design activities. The architect's seal number is the architect's BCDN as Marshall Homes Name of Project: required under the Building Code Designation Project Location: Cobourg, Ontario Ontario Building Code Building Code Reference References are to Division B unless noted [A] for Division A or [C] for Division C. Data Matrix Part 3 or 9 1 Project Description: 11.1 to 11.4 Addition 1.1.2. [A] 1.1.2. [A] & 9.10.1.3. Change of Use Group C (Residential 3.1.2.1(1) 2 Major Occupancy(s) 3 Building Area (m2) Existing 0 sq. m. New 391 m2 Total 391 m2 1.4.1.2.[A] 1.4.1.2.[A] 4 Gross Area 1.4.1.2.[A] 1.4.1.2.[A] Existing 0 sq. m. 1.4.1.2[A]&3.2.1.1. 1.4.1.2[A]&9.10.4 5 Number of Storeys Above Grade Below Grade 1 6 Height of Building (m) 12.59 m 7 Number of Streets / Fire Fighter Access 3.2.2.10.&3.2.5. 9.10.20 3.2.2.20.-.83 8 Building Classification GROUP C (RESIDENTIAL) 9 Sprinkler System Proposed Entire Building Selected Compartments Selected Floor Areas 3.2.2.20.-.83 | 3.2.2.17. | 9.10.8.2 3.2.1.5. | INDEX | INDEX Basement In Lieu of Roof Rating Not Required 9.10.18. 11 Fire Alarm required 3.2.5.7. 12 Water Service / Supply is Adequate 3.2.6. 13 | High Building 14 Permitted Construction Combustible permitted 3.2.2.20.-.83 9.10.6. Non-Combustible Both Combustible Non-Combustible Actual Construction 15 Mezzanine(s) Area m2 3.2.1.1.(3)_(8) 9.10.4.1 16 Occupant load based on Design of Building 3.1.17. 9.9.1.3. Total Occupant Load Ground Floor: OCCUPANCY 16 Main Floor: OCCUPANCY 16 Residential occupancies are based on 2 persons per bedroom for each dwelling unit 17 Barrier Free Design 3.3.1.2.&3.3.1.19. 9.10.1.3.(4) 18 Hazardous Substances Yes N Horizontal Assemblies Required Fire 3.2.2.20.-.83 & FRR (Hours) Description (SB-2) 9.10.9. 3.2.1.4 Rating (FRR) Floors 1 HR b/t Unit; 0.75 HR within Unit NO RATING REQ'D Mezzanine FRR of Supporting Listed Design No. Or Description (SB-2) Floors 1 HR b/t Unit; 0.75 HR within Unit NO RATING REQ'D 20 Spatial Separation - Construction of Exterior Walls L.D. L/H or Permitted Proposed % FRR Max % of Openings FRONT | R6 | 2201 B R6 2203 B R6 2204 B R7 2201 A 0 HR R7 2202 A 28.29 N/A 100% 53% R7 2203 A YES YES R7 2204 A YES YES R8 2201 A R8 2202 A R8 2203 A R8 2204 A R9 2201 B R9 2202 B R9 2203 B R9 2204 B REAR | R9 | 2201 B R9 2202 B R9 2203 B R8 2201 A R8 2202 A YES YES R8 2203 A R7 2201 A R7 2202 A R7 2203 A R6 2201 C R6 2202 C R6 2203 C R6 2201 B YES

R6 2202 B

R6 2203 B - Z1

R6 2203 B - Z2

R6 2204 B

R9 2202 B

R9 2204 B

R9 2203 B - Z1

R9 2203 B - Z2

21 Washroom Fixtures = 1 MIN. per Suite

22 Means of Egress, Access to Exits &

2.5 N/A 15%

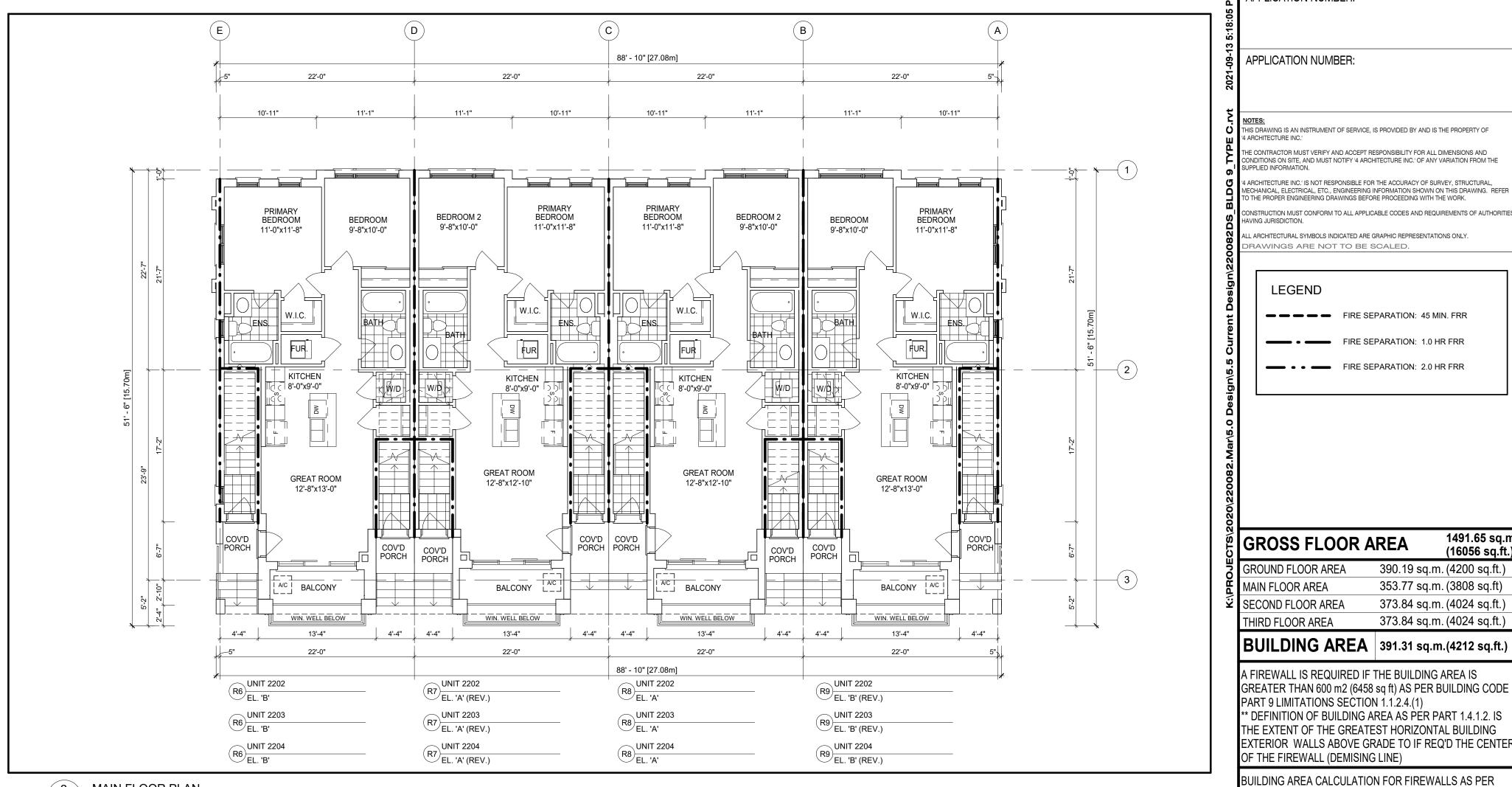
Explain: Public Stairs: Rise = 180mm max. Run = 280mm max.

Private Stairs: Rise = 200mm max. Run = 210mm min.

9%

1 HR

RIGHT | R9 | 2201 B



2 MAIN FLOOR PLAN 1/8" = 1'-0"

1/8" = 1'-0"

YES

YES

YES

YES

YES

YES

YES

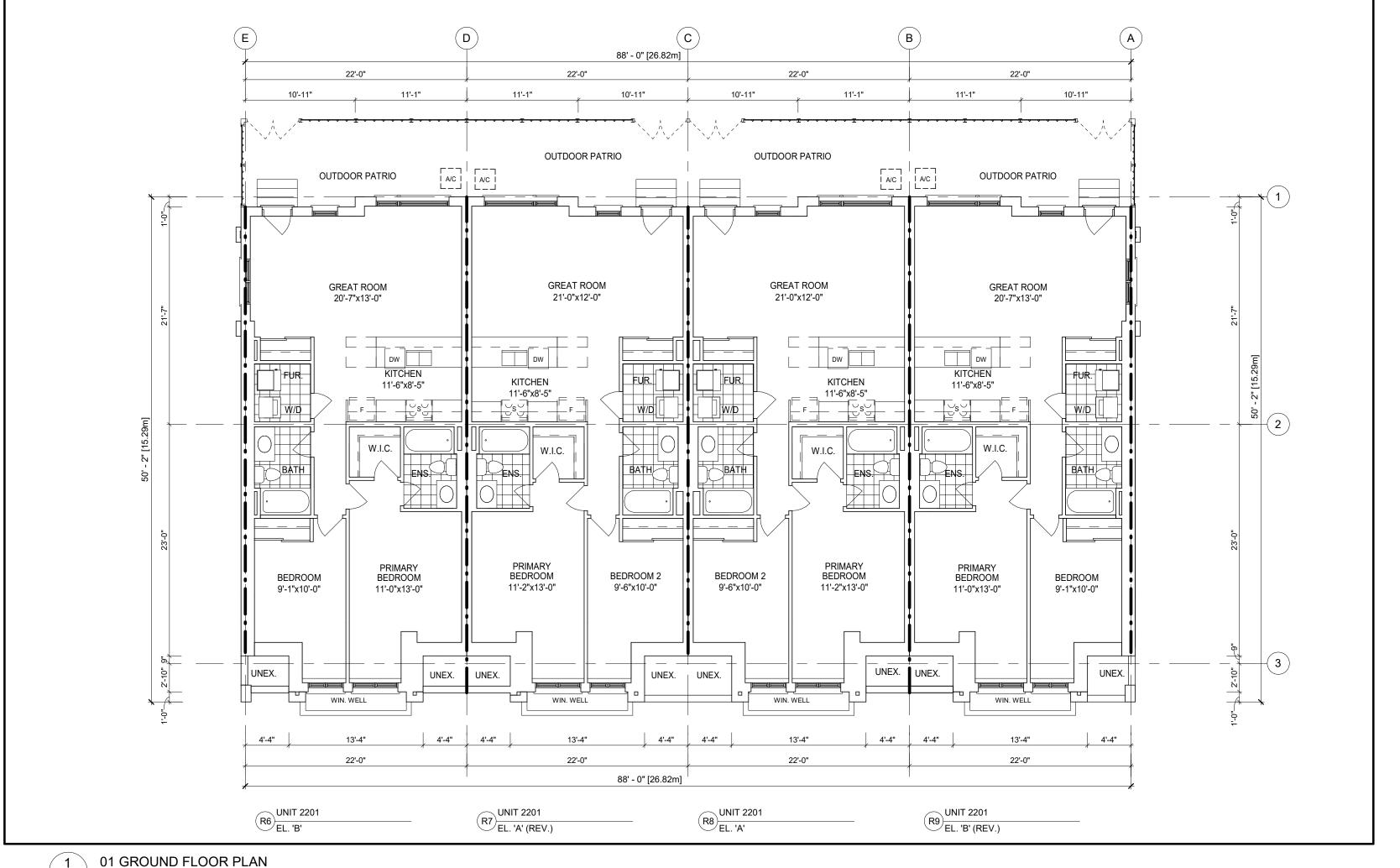
YES

YES

9.3.1.1/9.31.4

9.9

YES





** DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2. IS

APPLICATION NUMBER:

APPLICATION NUMBER:

ARCHITECTURE INC.

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FIRE SEPARATION: 45 MIN. FRR

FIRE SEPARATION: 1.0 HR FRR

FIRE SEPARATION: 2.0 HR FRR

1491.65 sq.m.

(16056 sq.ft.)

390.19 sq.m. (4200 sq.ft.)

353.77 sq.m. (3808 sq.ft)

373.84 sq.m. (4024 sq.ft.)

373.84 sq.m. (4024 sq.ft.)

AWINGS ARE NOT TO BE SCALED.

GROSS FLOOR AREA

GROUND FLOOR AREA

SECOND FLOOR AREA

THIRD FLOOR AREA

MAIN FLOOR AREA

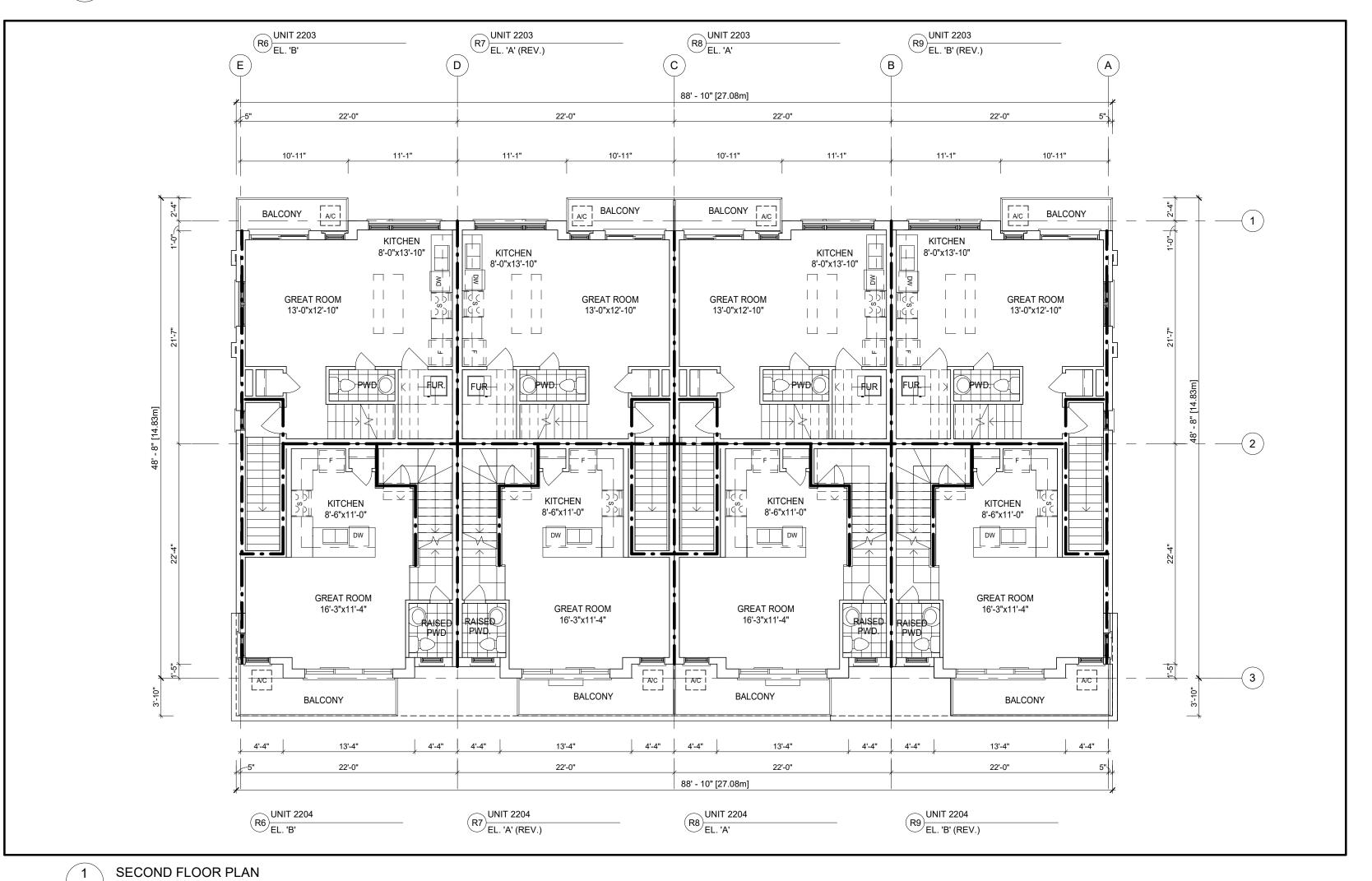
4 ARCHITECTURE NC

8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7 T. (905) 470 7212 // F. (905) 737 7326 email: mail@4architecture.ca MARSHALL HOMES - 220082

COBOURG, ON **FLOOR PLANS BUILDING 9**

2021.09.13 As indicated HM 220082DS_BLDG 9_TYPE C.rvt





B9-2 1/8" = 1'-0"

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COBOURG, ON
FLOOR PLANS

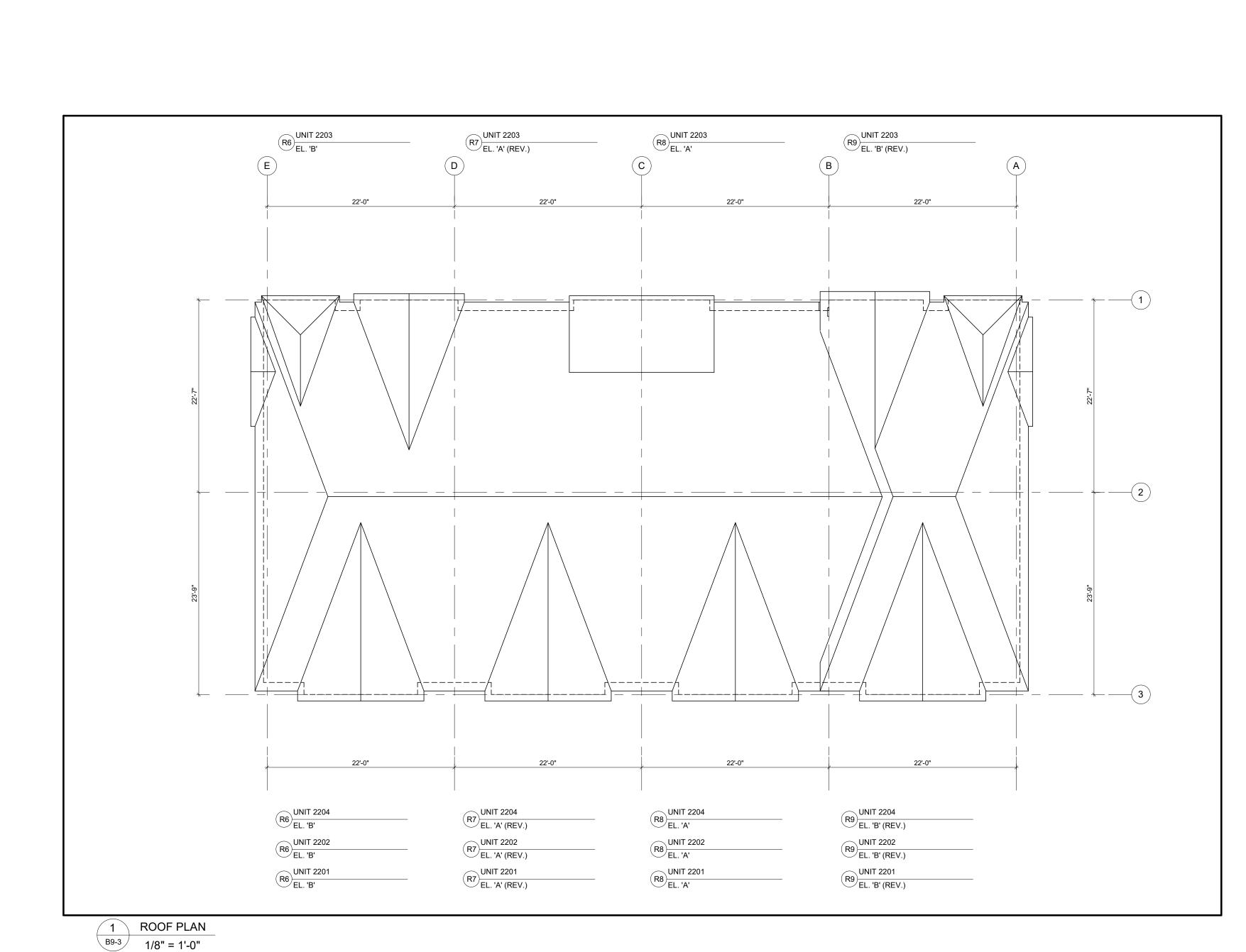
HM SL

BUILDING 9 2021.09.13

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As indicated

B9-2



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2021.09.13

As indicated

File Name 220082DS_BLDG 9_TYPE C.rvt

EXTERIOR COLOUR SELECTION	MANUFACTURER	1 Std. Towns	2 RL Towns	3 Stacked Towns		
Roof	BP Mystique	2-Tone Black	2-Tone Black	2-Tone Black		
Soffit, Eavestroughs, RWL and Freize Board	Giancola Aluminum	Slate	Iron Ore	Slate		
Brick 1 (Base Brick)	Meridian Brick	Portland	Vanier	Vanier		
Brick 2 (Upper Brick)	Meridian Brick	Kelowna	Portland	Kelowna		
Vinyl Siding, (including corner trim & caping)	Mitten	Stratus	White	Stratus		
Non-combustible Siding Where required	James Hardie	colour to match Vinyl Siding				
Front Door & Garage Door	Sherwin Williams	Perle Noir SW 9154	Perle Noir SW 9154	Perle Noir SW 9154		
Prefinished Exterior Trim, Panels, Exterior Posts & Door Frame	Sherwin Williams	Popular Gray SW6071	Popular Gray SW6071	Popular Gray SW6071		
Windows	Newmar	Black	Black	Black		
Railings	Airport Railing	Black	Black	Black		



2 FRONT ELEVATION 1/8" = 1'-0"



1 REAR ELEVATION

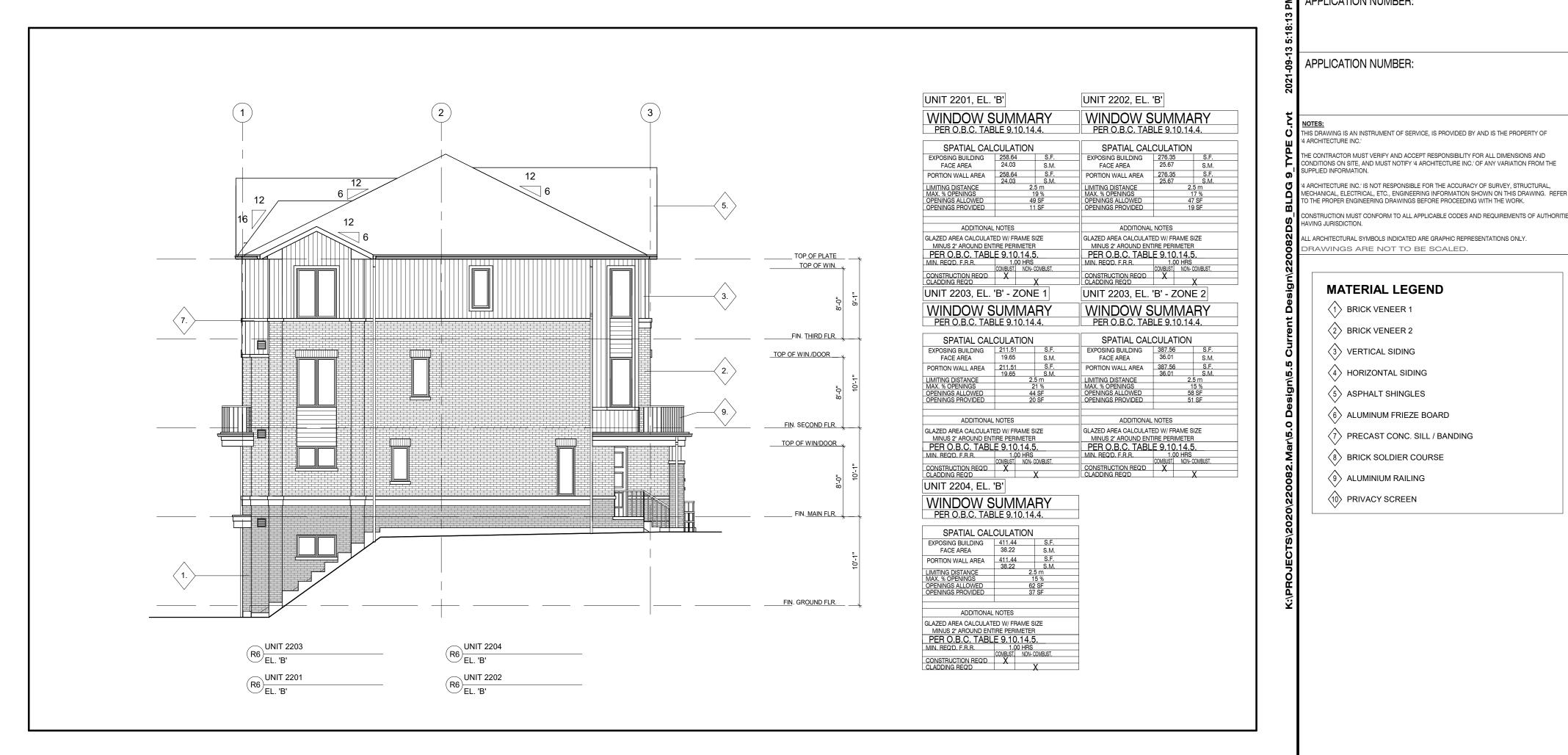
1/8" = 1'-0"

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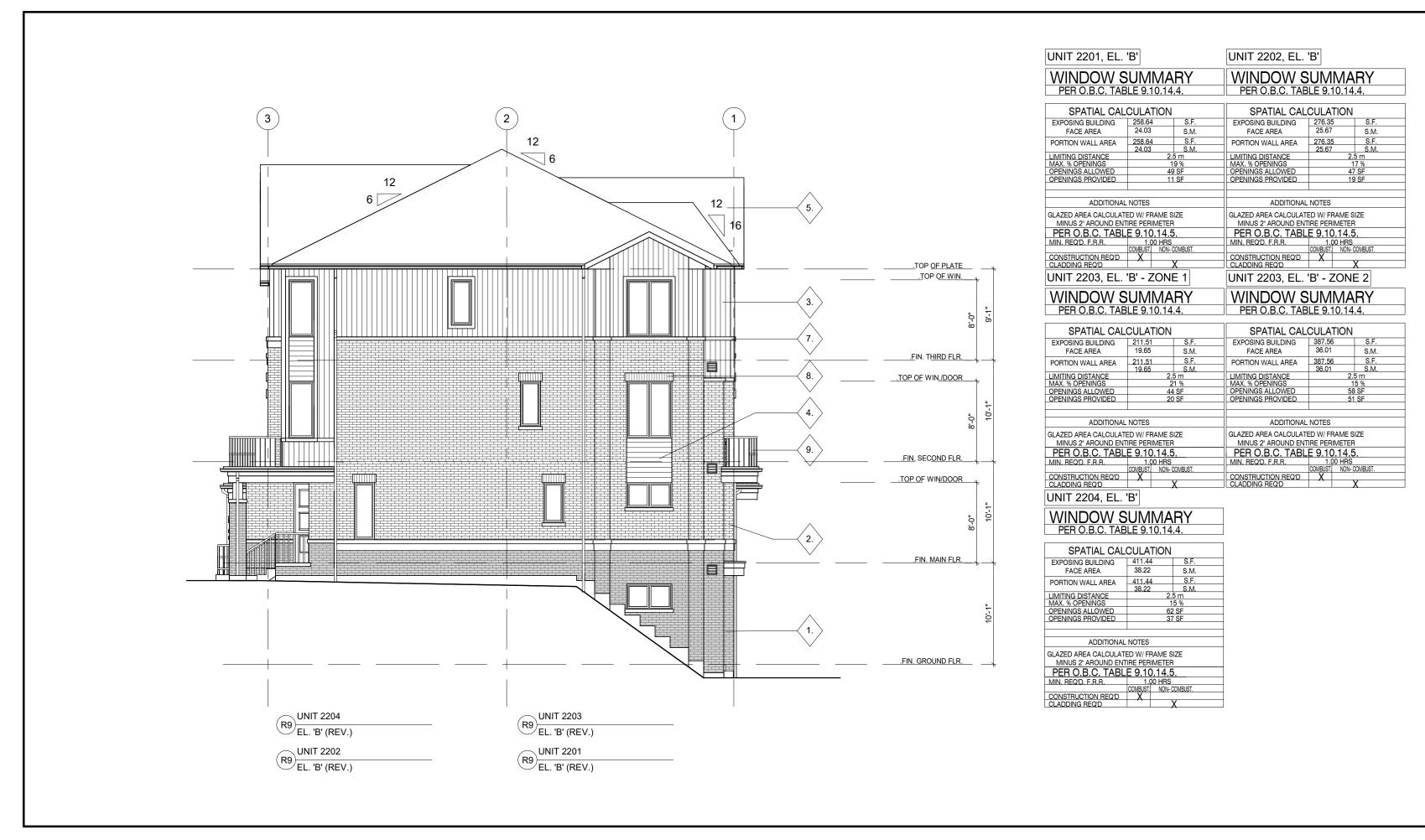
HM SL

220082DS_BLDG 9_TYPE C.rvt

APPLICATION NUMBER:



1 LEFT SIDE ELEVATION



2 RIGHT SIDE ELEVATION

B9-5 1/8" = 1'-0"

ELEVATIONS 2021.09.13 1/8" = 1'-0" HM SL 220082DS_BLDG 9_TYPE C.rvt

MARSHALL HOMES - 220082

COBOURG, ON

ISSUED FOR SPA SUBMISSION

MARSHALL HOMES

4 ARCHITECTURE NC.

8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7

T. (905) 470 7212 // F. (905) 737 7326 email: mail@4architecture.ca

2021.09.13

YYYY.MM.DD E

APPLICATION NUMBER:

APPLICATION NUMBER:

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MATERIAL LEGEND

(1) BRICK VENEER 1

2 BRICK VENEER 2

(3) VERTICAL SIDING

4 HORIZONTAL SIDING

(5) ASPHALT SHINGLES

(6) ALUMINUM FRIEZE BOARD

(8) BRICK SOLDIER COURSE

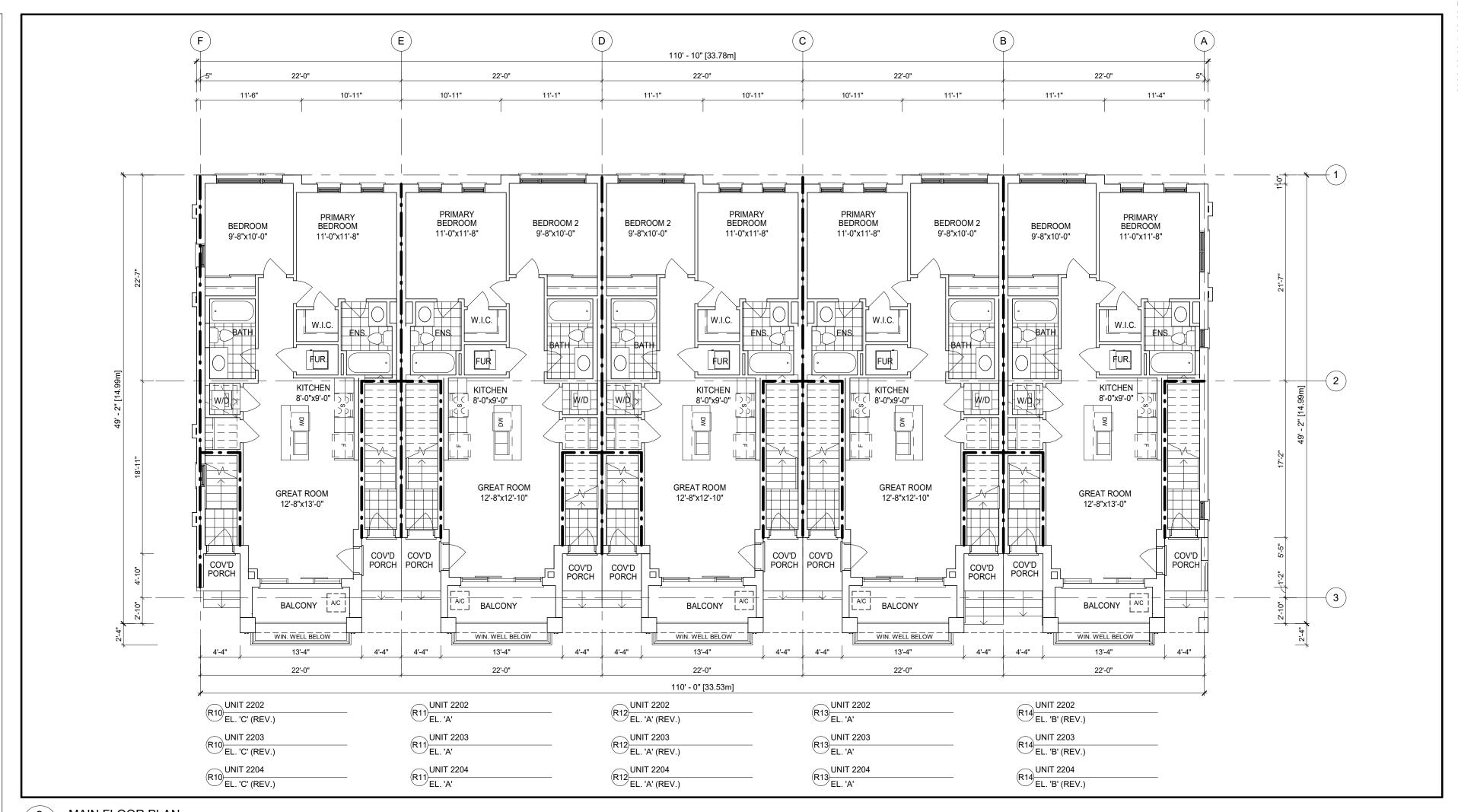
(9) ALUMINIUM RAILING

(10) PRIVACY SCREEN

⟨7⟩ PRECAST CONC. SILL / BANDING

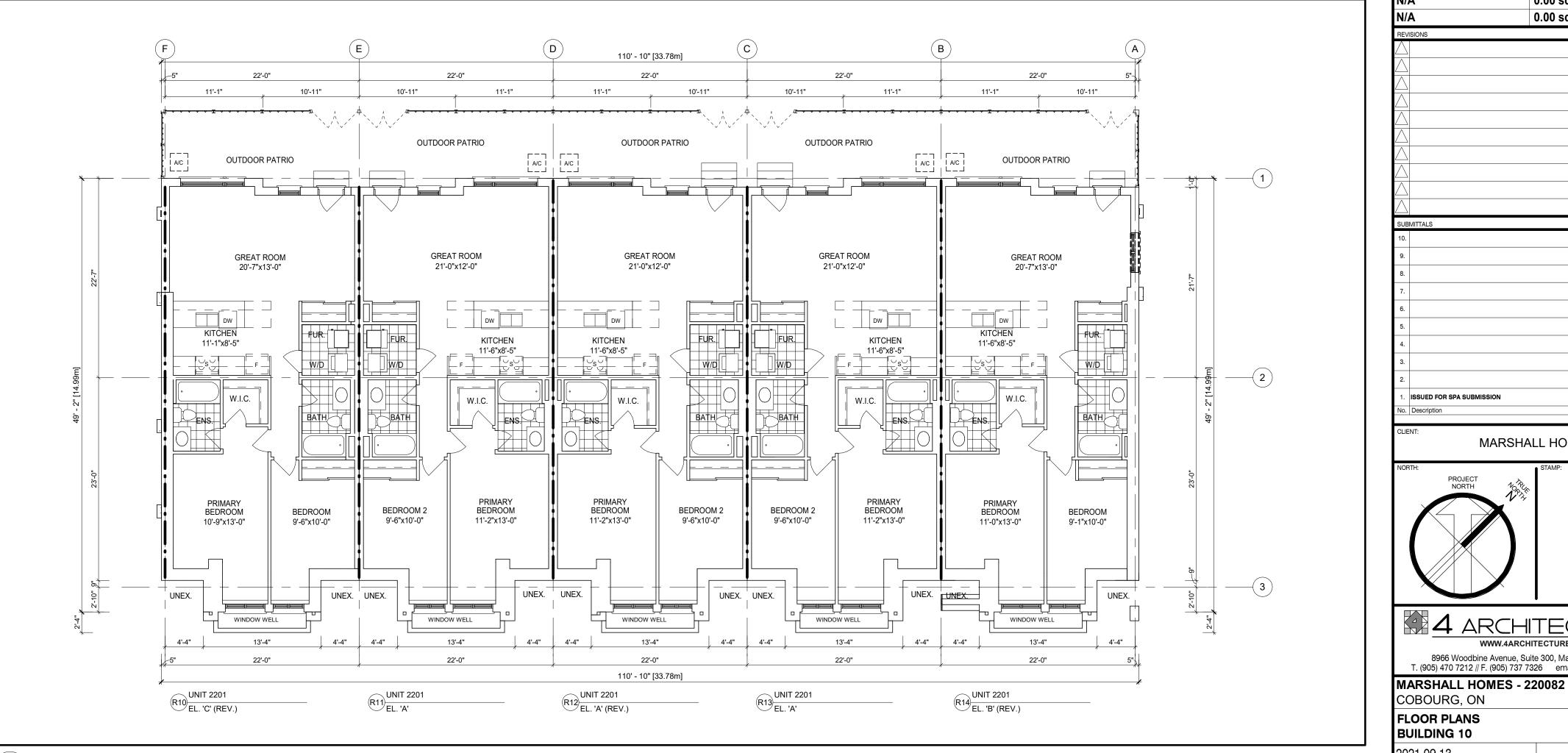
Firm Na Address			89	ARCHITECTUR 66 Woodbine A arkham, ON. L3	venue, Sı	uite 300								
Certifica	te of Pra	ctice Numbe	Т.	905.470.7121 / F		7326 / ema	ail : mail@4a	rchitecture.ca						
	f Project:			arshall Homes						control with re architect's sea	noted above he spect to design all number is the	n activities e architec	s. The t's BCDN	
Project l	Location:		Co	bourg, Ontario						System.	er the Building (
Item				0	ntario Building Code					Building Code Reference References are to Division B unless noted [A] for				[A] for
			ata Matri	x Part 3	or 9 ———— New	Part 11			A or [C] for Divi			[A] for		
1	Projec	t Description	:			_	Addition	11.1 to	11.4	1.1.2. [A]			[A] & 9.	10.1.3.
2	Major	Occupancy(s)	Group C (Resi			Alteration			3.1.2.1(1)		9.10.2	<u>.</u>	
3		g Area (m2)	rea (m2) Existing 0 sq. m. New 488 m2 Total 488 m2 1.4.1.2.[A]			1.4.1.2.[A]								
5 5	Gross Numbe	Area er of Storeys		Existing 0 sq Above Grade	. m. 3	New 1	861 m2 Below 0	Total 1861 i	mz ———	1.4.1.2.[A] 1.4.1.2[A]8	k3.2.1.1.	1.4.1.	2.[A] 2[A]&9.1	0.4
6		of Building	m) / Fire Fighter	12.43 m	3					3.2.2.10.&3	9.10.2	20		
7 8		g Classificat		GROUP C (RE		AL)				3.2.2.208		9.10.2		
9	Sprink	ler System F	roposed	Entire Buildin	- 🗀	ected Com		Selected Flo		3.2.2.2083		9.10.8		
10	Standp	oipe required		Basement	In Li	ieu of Roof		Not Required	d	3.2.1.5. 3.2.9.	INDEX	INDEX N/A	<u> </u>	
11		arm required		.ata			_ =	No No		3.2.4.		9.10.1 N/A	8.	
12 13	High B		pply is Adeqı	nate			Yes Yes	No		3.2.5.7. 3.2.6.		N/A N/A		
14		ted Construc		per	mbustible mitted		Non-Com Required		Both	3.2.2.208	33	9.10.6).	
15		Construction nine(s) Area		N/A	mbustible		Non-Com	oustible	Both	3.2.1.1.(3)	_(8)	9.10.4	l.1	
16	<u> </u>	ant load bas Occupant Lo		m2	/ person		Design of	Building		3.1.17.		9.9.1.	3.	
	Ground Main F	d Floor: O loor: O	CCUPANCY CCUPANCY	20										
	Third F	d Floor: O Floor: O	CCUPANCY CCUPANCY	:	ner hod	oom								
		h dwelling u		on a persons	. Poi neuro		80	persons		-				
17	Barrier	Free Desig		Yes	No	(Explain)	30	ρσισυπο		3.8.1.1		9.5.2.		
18 19					No.			Listed Design N		3.3.1.2.&3.		9.10.1		
-	Res	istance ig (FRR)	Floors	FRR (F	lours)			Description (SE		3.2.1.4	- - ~	9.10.8		
			Roof		RATING F									
	Mezzanine		FRR of Su	N/A			Listed Design No. Or		_					
	M		Memb	ers	*****		Description (SE							
			Floors	1 HR b/t Unit;	0.75 HR w RATING F		1							
20	Snatia	Separation	Mezzanine	n of Exterior Wa	N/A	_				3.2.3.		9.10.1	4	
20	Opalia	Wall	- Constructio	Area of EBF	L.D.	L/H or	Permitted Max % of	Proposed %	FRR (Hours)	Listed	Comb.	Comb.	Non-	Non-comb
RONT	D10	2204.0		(m²) 8.21	(m) 21.93	H/L N/A	Openings	of Openings	(Hours)	Design or Description	Const.	Clad.	comb Clad.	Constr.
KONT	R10 R10	2201 C 2202 C		12.59	21.93	N/A	100%	53%	0 HR	N/A	YES	YES		
	R10	2203 C 2204 C		5.16 45.06	21.93	N/A N/A	100% 100%	43% 38%	0 HR 0 HR	N/A N/A	YES YES	YES YES		
	R11	2201 A		8.21	16.49	N/A	100%	30%	0 HR	N/A	YES	YES		
	R11	2202 A 2203 A		12.59 4.26	16.49 16.49	N/A N/A	100% 100%	53% 52%	0 HR 0 HR	N/A N/A	YES YES	YES		
	R11	2204 A		43.22	16.49	N/A	100%	37%	0 HR	N/A	YES	YES		
	R12	2201 A 2202 A		12.59	16.49 16.49	N/A N/A	100%	30% 53%	0 HR 0 HR	N/A N/A	YES	YES		
	R12	2203 A		4.26	16.49	N/A	100%	52%	0 HR	N/A	YES	YES		
	R12	2204 A 2201 A		43.22 8.21	16.49 13.77	N/A N/A	100%	37%	0 HR 0 HR	N/A N/A	YES	YES		
	R13	2202 A		12.59	13.77	N/A	100%	53%	0 HR	N/A	YES	YES		
	R13	2203 A 2204 A		4.26	13.77 13.77	N/A N/A	100%	52% 37%	0 HR 0 HR	N/A N/A	YES YES	YES		
	R14 R14	2201 B 2202 B		8.18 12.49	11.15 11.15	N/A N/A	100% 100%	30% 53%	0 HR 0 HR	N/A N/A	YES YES	YES YES		
	R14	2203 B		4.06	11.15	N/A	100%	55%	0 HR	N/A N/A	YES	YES		
REAR	R14	2204 B 2201 B		45.72 22.53	11.15 17.98	N/A N/A	100% 100%	38% 33%	0 HR 0 HR	N/A N/A	YES YES	YES YES		
	R14	2202 B		21.47	17.98	N/A	100%	30%	0 HR	N/A	YES	YES		
	R14 R13	2203 B 2201 A		40.81 22.53	17.98 17.98	N/A N/A	100%	41% 33%	0 HR 0 HR	N/A N/A	YES	YES		
	R13	2202 A 2203 A		21.47 40.81	17.98 17.98	N/A N/A	100% 100%	30% 41%	0 HR 0 HR	N/A	YES	YES YES		
	R13	2201 A		22.53	17.98	N/A N/A	100%	33%	0 HR	N/A N/A	YES	YES		
	KIZ	2202 A		21.47 40.81	17.98 17.98	N/A N/A	100% 100%	30% 41%	0 HR 0 HR	N/A N/A	YES YES	YES		
	R12	2203 A				N/A	100%	33%	0 HR	N/A	YES	YES		
	R12 R12 R11	2201 A		22.53	17.98		100%	30% 41%	0 HR 0 HR	N/A N/A	YES YES	YES		
	R12			22.53 21.47 40.81	17.98 17.98	N/A N/A	100%	4170						
	R12 R12 R11 R11 R11 R10	2201 A 2202 A 2203 A 2201 C		21.47 40.81 22.53	17.98 17.98 17.98	N/A N/A	100%	33%	0 HR	N/A	YES	YES		
	R12 R12 R11 R11 R11	2201 A 2202 A 2203 A		21.47 40.81	17.98 17.98	N/A			0 HR 0 HR 0 HR	N/A N/A N/A		YES YES YES		
EFT	R12 R12 R11 R11 R11 R10 R10 R10	2201 A 2202 A 2203 A 2201 C 2202 C 2203 C 2201 C		21.47 40.81 22.53 21.47 41.07 24.58	17.98 17.98 17.98 17.98 17.98 2.5	N/A N/A N/A N/A	100% 100% 100% 19%	33% 30% 41% 2%	0 HR 0 HR 1 HR	N/A N/A N/A	YES YES YES YES	YES	YES	
EFT	R12 R12 R11 R11 R11 R10 R10	2201 A 2202 A 2203 A 2201 C 2202 C 2203 C 2201 C 2202 C 2202 C 2203 C		21.47 40.81 22.53 21.47 41.07	17.98 17.98 17.98 17.98 17.98	N/A N/A N/A	100% 100% 100%	33% 30% 41%	0 HR 0 HR	N/A N/A	YES YES YES	YES	YES YES YES	
	R12 R12 R11 R11 R10 R10 R10 R10 R10 R10	2201 A 2202 A 2203 A 2201 C 2202 C 2203 C 2201 C 2202 C		21.47 40.81 22.53 21.47 41.07 24.58 26.64	17.98 17.98 17.98 17.98 17.98 2.5 2.5	N/A N/A N/A N/A N/A N/A	100% 100% 100% 19% 17%	33% 30% 41% 2% 5%	0 HR 0 HR 1 HR 1 HR	N/A N/A N/A	YES YES YES YES YES YES	YES	YES	
EFT	R12 R12 R11 R11 R10 R10 R10 R10 R10 R10 R10	2201 A 2202 A 2203 A 2201 C 2202 C 2203 C 2201 C 2202 C 2202 C 2203 C 2204 C 2204 B 2202 B		21.47 40.81 22.53 21.47 41.07 24.58 26.64 40.21 54.34 24.03 25.67	17.98 17.98 17.98 17.98 17.98 2.5 2.5 2.5 2.5 9.21	N/A	100% 100% 100% 19% 17% 14% 11% 100%	33% 30% 41% 2% 5% 9% 10% 4%	0 HR 0 HR 1 HR 1 HR 1 HR 1 HR 0 HR	N/A N/A N/A N/A N/A N/A N/A N/A N/A	YES	YES YES YES YES	YES YES	
	R12 R12 R11 R11 R10 R10 R10 R10 R10 R10 R10	2201 A 2202 A 2203 A 2201 C 2202 C 2203 C 2201 C 2202 C 2202 C 2203 C 2204 C 2204 C 2201 B		21.47 40.81 22.53 21.47 41.07 24.58 26.64 40.21 54.34 24.03	17.98 17.98 17.98 17.98 17.98 2.5 2.5 2.5 2.5 9.21	N/A	100% 100% 100% 19% 17% 14% 11%	33% 30% 41% 2% 5% 9% 10% 4%	0 HR 0 HR 1 HR 1 HR 1 HR 1 HR	N/A N/A N/A N/A N/A N/A N/A	YES	YES YES	YES YES	
	R12 R12 R11 R11 R10 R10 R10 R10 R10 R10 R10 R10	2201 A 2202 A 2203 A 2201 C 2202 C 2203 C 2201 C 2202 C 2204 C 2204 B 2202 B 2203 B 2203 B 2204 B		21.47 40.81 22.53 21.47 41.07 24.58 26.64 40.21 54.34 24.03 25.67 19.65 36.01 38.22	17.98 17.98 17.98 17.98 17.98 2.5 2.5 2.5 2.5 9.21 9.21	N/A	100% 100% 190% 17% 14% 11% 100% 100%	33% 30% 41% 2% 5% 9% 10% 4% 7%	0 HR 0 HR 1 HR 1 HR 1 HR 0 HR 0 HR	N/A	YES	YES YES YES YES YES YES YES	YES YES	

BUILDING 10



MAIN FLOOR PLAN

1/8" = 1'-0"



GROUND FLOOR PLAN 1/8" = 1'-0"

2021.09.13 As indicated 220082DS_BLDG 10_TYPE C.rvt

4 ARCHITECTURE NO

8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7 T. (905) 470 7212 // F. (905) 737 7326 email: mail@4architecture.ca

MARSHALL HOMES

APPLICATION NUMBER:

APPLICATION NUMBER:

4 ARCHITECTURE INC.'

THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE, AND MUST NOTIFY '4 ARCHITECTURE INC.' OF ANY VARIATION FROM THE

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CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES

ILL ARCHITECTURAL SYMBOLS INDICATED ARE GRAPHIC REPRESENTATIONS ONLY.

FIRE SEPARATION: 45 MIN. FRR

FIRE SEPARATION: 1.0 HR FRR

FIRE SEPARATION: 2.0 HR FRR

BUILDING AREA 488.39 sq.m.(5257 sq.ft.)

GREATER THAN 600 m2 (6458 sq ft) AS PER BUILDING CODE

** DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2. IS

THE EXTENT OF THE GREATEST HORIZONTAL BUILDING EXTERIOR WALLS ABOVE GRADE TO IF REQ'D THE CENTER

BUILDING AREA CALCULATION FOR FIREWALLS AS PER

BUILDING AREA SEPERATED BY FIREWALL

O.B.C. PART 1 SECTION 1.1.2.4.(1), PART 3.1. & 9.10.

A FIREWALL IS REQUIRED IF THE BUILDING AREA IS

PART 9 LIMITATIONS SECTION 1.1.2.4.(1)

OF THE FIREWALL (DEMISING LINE)

ISSUED FOR SPA SUBMISSION

FLOOR PLANS **BUILDING 10**

1861.31 sq.m.

(20035 sq.ft.)

487.00 sq.m. (5242 sq.ft.)

441.57 sq.m. (4753 sq.ft)

466.84 sq.m. (5025 sq.ft.)

465.91 sq.m. (5015 sq.ft.)

0.00 sq.m. (0 sq.ft.) 0.00 sq.m. (0 sq.ft.)

2021.09.13

YYYY.MM.DD E

RAWINGS ARE NOT TO BE SCALED.

GROSS FLOOR AREA

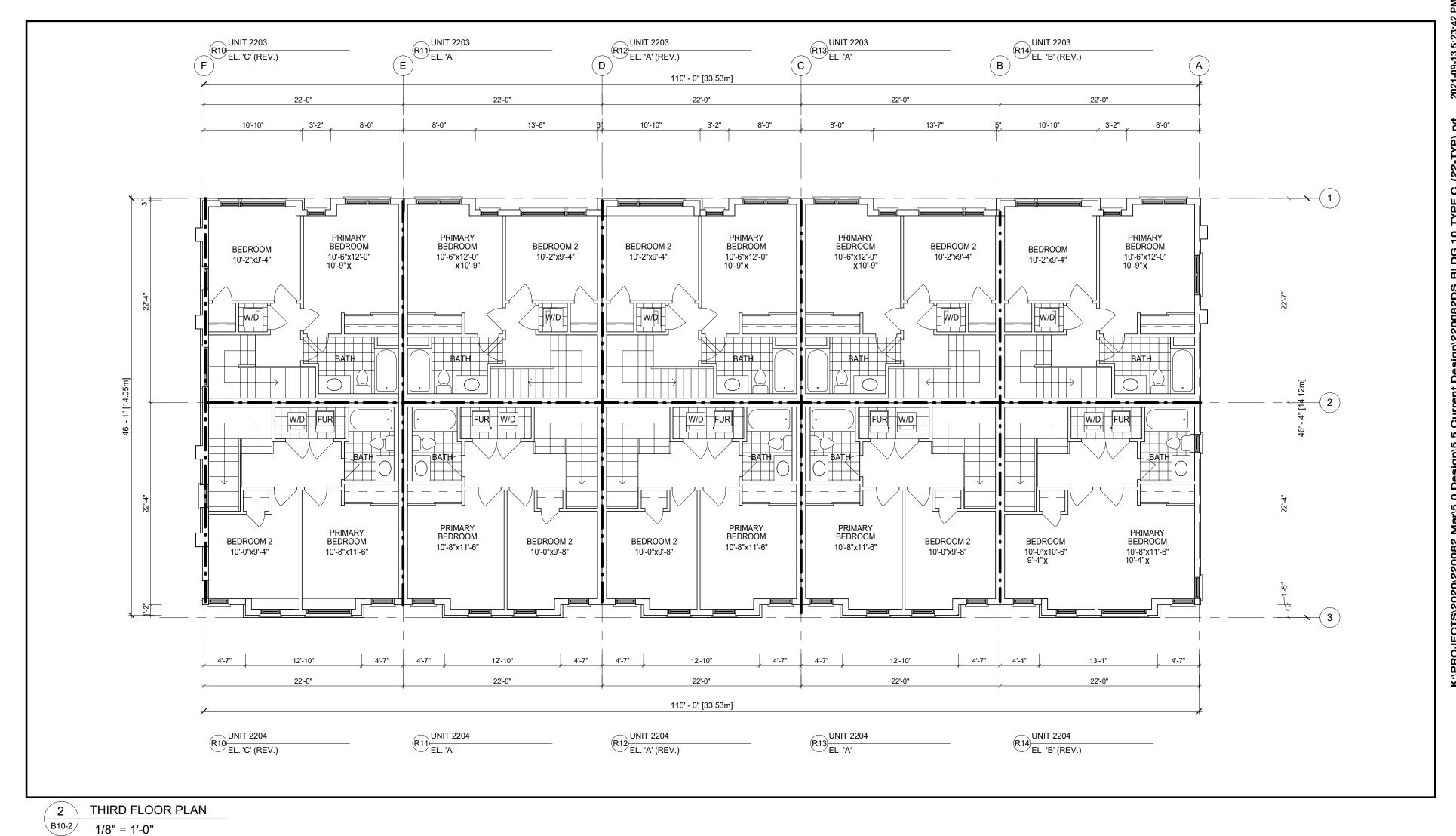
GROUND FLOOR AREA

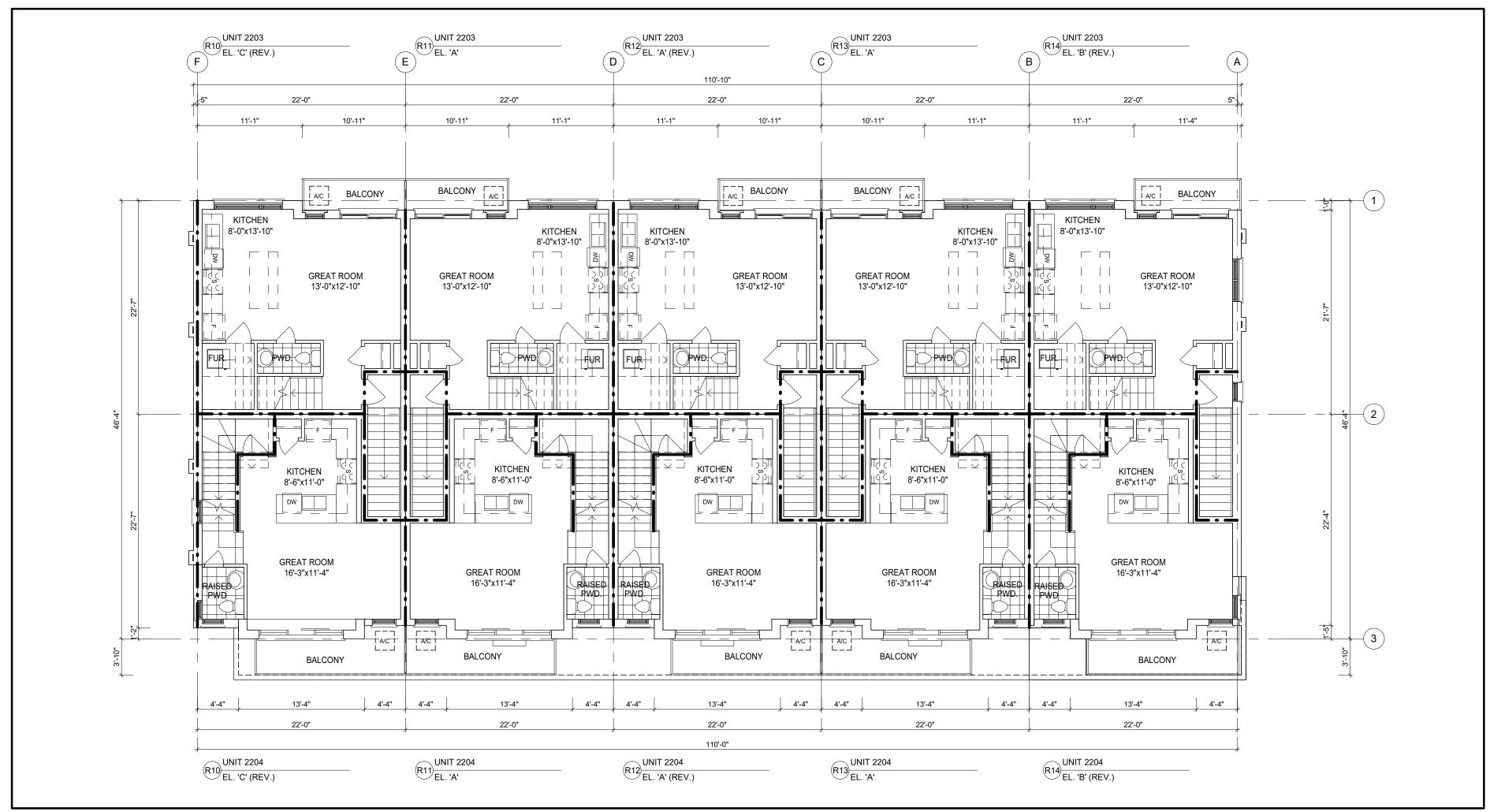
SECOND FLOOR AREA

THIRD FLOOR AREA

MAIN FLOOR AREA

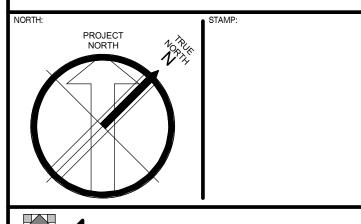
LEGEND





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MARSHALL HOMES



4 ARCHITECTURE INC.
WWW.4ARCHITECTURE.CA

8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7 T. (905) 470 7212 // F. (905) 737 7326 email: mail@4architecture.ca

COBOURG, ON FLOOR PLANS BUILDING 10

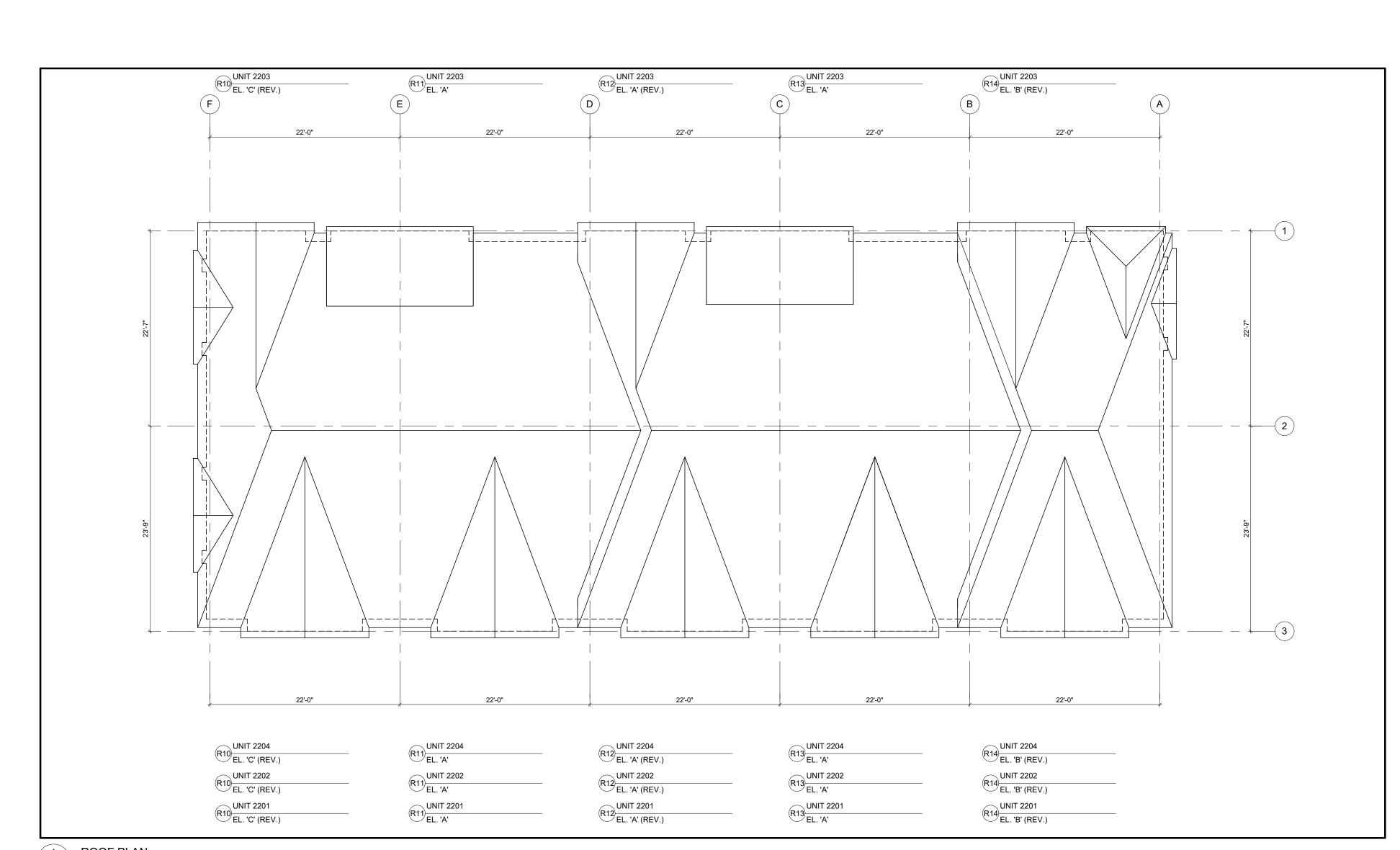
2021.09.13

As indicated

220082DS_BLDG 10_TYPE C.rvt

Checked By SL R10-

1 SECOND FLOOR PLAN
B10-2 1/8" = 1'-0"



APPLICATION NUMBER: APPLICATION NUMBER: NOTES:
THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF 4 ARCHITECTURE INC.' THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE, AND MUST NOTIFY '4 ARCHITECTURE INC.' OF ANY VARIATION FROM THE SUPPLIED INFORMATION. '4 ARCHITECTURE INC.' IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC., ENGINEERING INFORMATION SHOWN ON THIS DRAWING. REFER TO THE PROPER ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. ALL ARCHITECTURAL SYMBOLS INDICATED ARE GRAPHIC REPRESENTATIONS ONLY. DRAWINGS ARE NOT TO BE SCALED. LEGEND FIRE SEPARATION: 45 MIN. FRR FIRE SEPARATION: 1.0 HR FRR FIRE SEPARATION: 2.0 HR FRR 1861.31 sq.m. GROSS FLOOR AREA (20035 sq.ft.) GROUND FLOOR AREA 487.00 sq.m. (5242 sq.ft.) 441.57 sq.m. (4753 sq.ft) MAIN FLOOR AREA SECOND FLOOR AREA 466.84 sq.m. (5025 sq.ft.) THIRD FLOOR AREA 465.91 sq.m. (5015 sq.ft.) BUILDING AREA 488.39 sq.m.(5257 sq.ft.) A FIREWALL IS REQUIRED IF THE BUILDING AREA IS GREATER THAN 600 m2 (6458 sq ft) AS PER BUILDING CODE PART 9 LIMITATIONS SECTION 1.1.2.4.(1) ** DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2. IS THE EXTENT OF THE GREATEST HORIZONTAL BUILDING EXTERIOR WALLS ABOVE GRADE TO IF REQ'D THE CENTER OF THE FIREWALL (DEMISING LINE) BUILDING AREA CALCULATION FOR FIREWALLS AS PER O.B.C. PART 1 SECTION 1.1.2.4.(1), PART 3.1. & 9.10. **BUILDING AREA SEPERATED BY FIREWALL** 0.00 sq.m. (0 sq.ft.) 0.00 sq.m. (0 sq.ft.) . ISSUED FOR SPA SUBMISSION 2021.09.13 YYYY.MM.DD By MARSHALL HOMES 4 ARCHITECTURE NC. 8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7 T. (905) 470 7212 // F. (905) 737 7326 email: mail@4architecture.ca MARSHALL HOMES - 220082

COBOURG, ON

ROOF PLANS **BUILDING 10**

2021.09.13

File Name 220082DS_BLDG 10_TYPE C.rvt

1 ROOF PLAN

B10-3 1/8" = 1'-0"

EXTERIOR COLOUR SELECTION	MANUFACTURER	1 Std. Towns	2 RL Towns	3 Stacked Towns
Roof	BP Mystique	2-Tone Black	2-Tone Black	2-Tone Black
Soffit, Eavestroughs, RWL and Freize Board	Giancola Aluminum	Slate	Iron Ore	Slate
Brick 1 (Base Brick)	Meridian Brick	Portland	Vanier	Vanier
Brick 2 (Upper Brick)	Meridian Brick	Kelowna	Portland	Kelowna
Vinyl Siding, (including corner trim & caping)	Mitten	Stratus	White	Stratus
Non-combustible Siding Where required	James Hardie	9	colour to match Vinyl Sidir	ng
Front Door & Garage Door	Sherwin Williams	Perle Noir SW 9154	Perle Noir SW 9154	Perle Noir SW 9154
Prefinished Exterior Trim, Panels, Exterior Posts & Door Frame	Sherwin Williams	Popular Gray SW6071	Popular Gray SW6071	Popular Gray SW6071
Windows	Newmar	Black	Black	Black
Railings	Airport Railing	Black	Black	Black



2 FRONT ELEVATION.

1/8" = 1'-0"



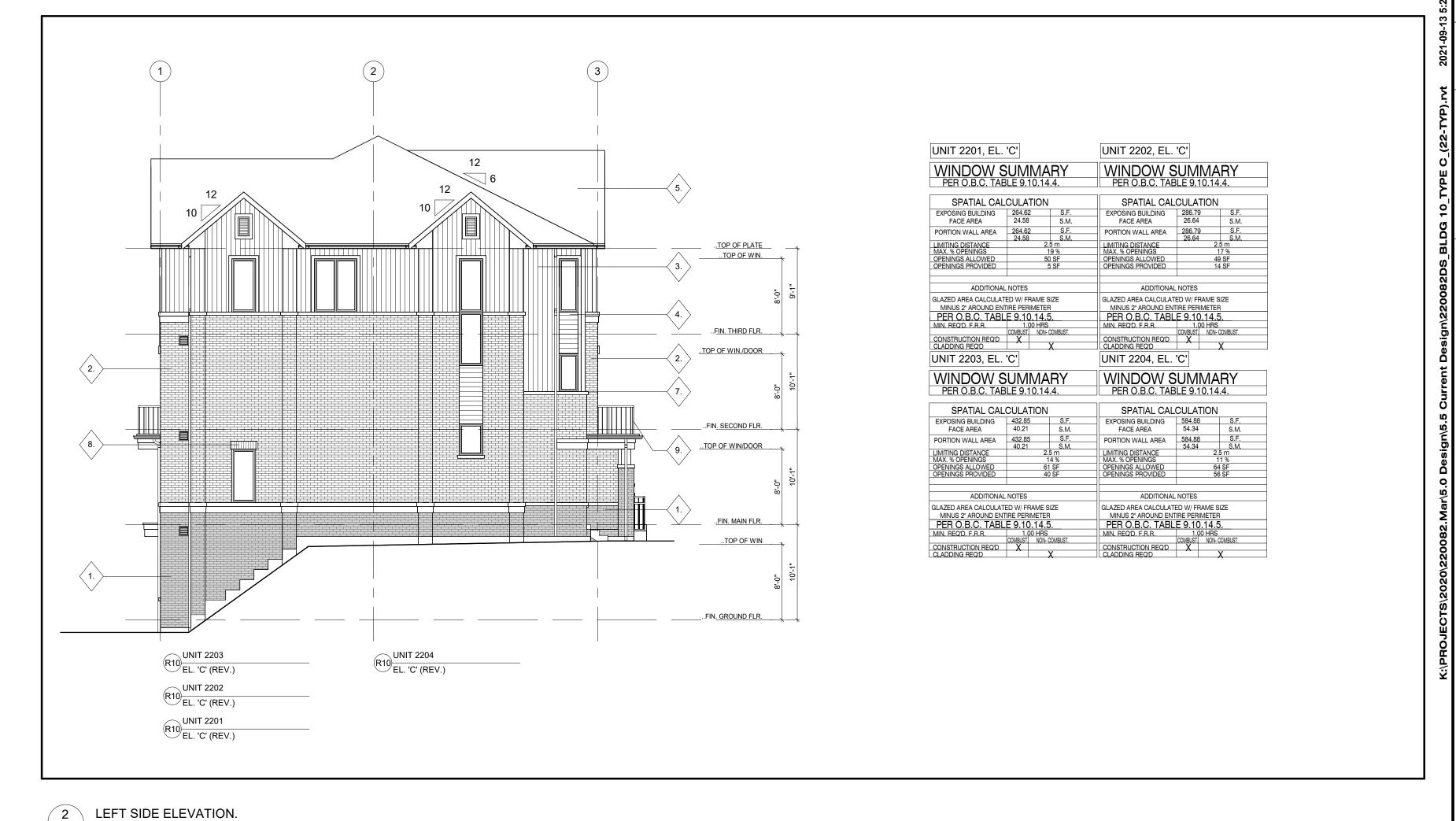
1 REAR ELEVATION.

1/8" = 1'-0"

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE, AND MUST NOTIFY '4 ARCHITECTURE INC.' OF ANY VARIATION FROM THE 4 ARCHITECTURE INC.' IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC., ENGINEERING INFORMATION SHOWN ON THIS DRAWING. REFER TO THE PROPER ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES ILL ARCHITECTURAL SYMBOLS INDICATED ARE GRAPHIC REPRESENTATIONS ONLY. RAWINGS ARE NOT TO BE SCALED. **MATERIAL LEGEND** (1) BRICK VENEER 1 2 BRICK VENEER 2 (3) VERTICAL SIDING 4 HORIZONTAL SIDING (5) ASPHALT SHINGLES (6) ALUMINUM FRIEZE BOARD 7 PRECAST CONC. SILL / BANDING (8) BRICK SOLDIER COURSE 9 ALUMINIUM RAILING (10) PRIVACY SCREEN 1. ISSUED FOR SPA SUBMISSION 2021.09.13 YYYY.MM.DD B MARSHALL HOMES 4 ARCHITECTURE NC. 8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7 T. (905) 470 7212 // F. (905) 737 7326 email: mail@4architecture.ca MARSHALL HOMES - 220082 COBOURG, ON ELEVATIONS **BUILDING 10** 2021.09.13 1/8" = 1'-0"

220082DS_BLDG 10_TYPE C.rvt

APPLICATION NUMBER:



1/8" = 1'-0" UNIT 2202, EL. 'B' UNIT 2201, EL. 'B' UNIT 2203, EL. 'B' - ZONE 1 WINDOW SUMMARY PER O.B.C. TABLE 9.10.14.4. WINDOW SUMMARY PER O.B.C. TABLE 9.10.14.4. WINDOW SUMMARY PER O.B.C. TABLE 9.10.14.4. SPATIAL CALCULATION SPATIAL CALCULATION SPATIAL CALCULATION EXPOSING BUILDING 258.64 FACE AREA 24.03 EXPOSING BUILDING 276.35 FACE AREA 25.67 EXPOSING BUILDING 211.51 FACE AREA 19.65 FACE AREA PORTION WALL AREA 258.64 24.03 PORTION WALL AREA 276.35 25.67 PORTION WALL AREA 211.51 19.65 .TOP OF PLATE .TOP OF WIN. ADDITIONAL NOTES ADDITIONAL NOTES ADDITIONAL NOTES GLAZED AREA CALCULATED W/ FRAME SIZE AZED AREA CALCULATED VV, ...
MINUS 2" AROUND ENTIRE PERIMETER
PER O.B.C. TABLE 9.10.14.5.
MIN. REQD. F.R.R. 0.00 HRS
COMBUST NON-COMBUST. GLAZED AREA CALCULATED W/ FRAME SIZE GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER
PER O.B.C. TABLE 9.10.14.5.
MIN. REQ'D. F.R.R. 0.00 HRS
COMSTRUCTION REQ'D X
CLADDING REQ'D X MINUS 2" AROUND ENTIRE PERIMETER
PER O.B.C. TABLE 9.10.14.5.
MIN. REO'D. F.R.R. 0.00 HRS .FIN. THIRD FLR. .TOP OF WIN./DOOR UNIT 2204, EL. 'B' UNIT 2203, EL. 'B' - ZONE 2 WINDOW SUMMARY PER O.B.C. TABLE 9.10.14.4. WINDOW SUMMARY PER O.B.C. TABLE 9.10.14.4. SPATIAL CALCULATION SPATIAL CALCULATION EXPOSING BUILDING 411.44
FACE AREA 38.22 EXPOSING BUILDING 387.56 S.F. FACE AREA 36.01 S.M. .FIN. SECOND FLR. FACE AREA PORTION WALL AREA 387.56 S.F. 36.01 S.M. PORTION WALL AREA 411.44 S.F. 38.22 S.M. .TOP OF WIN/DOOR ADDITIONAL NOTES GLAZED AREA CALCULATED W/ FRAME SIZE
MINUS 2' AROUND ENTIRE PERIMETER
PER O.B.C. TABLE 9.10.14.5.
MIN. REQ'D. F.R.R. 0.00 HRS
COMBUST. NON-COMBUST.
CONSTRUCTION REQ'D X
CLADDING REQ'D X GLAZED AREA CALCULATED W/ FRAME SIZE PER O.B.C. TABLE 9.10.14.5.

MIN. REQ'D. F.R.R. 0.00 HRS

COMBUST NON-COMBUST.

CONSTRUCTION REQ'D X

CLADDING REQ'D X .FIN. MAIN FLR. .FIN. GROUND FLR. R14 UNIT 2204 EL. 'B' (REV.) UNIT 2203 EL. 'B' (REV.) **UNIT 2202** R14 EL. 'B' (REV.) UNIT 2201 R14 EL. 'B' (REV.)

1 RIGHT SIDE ELEVATION.

1/8" = 1'-0"

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CLIENT:

MARSHALL HOMES

NORTH:

STAMP:

4 ARCHITECTURE INC.

WWW.4ARCHITECTURE.CA

8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7

T. (905) 470 7212 // F. (905) 737 7326 email: mail@4architecture.ca

MARSHALL HOMES - 220082

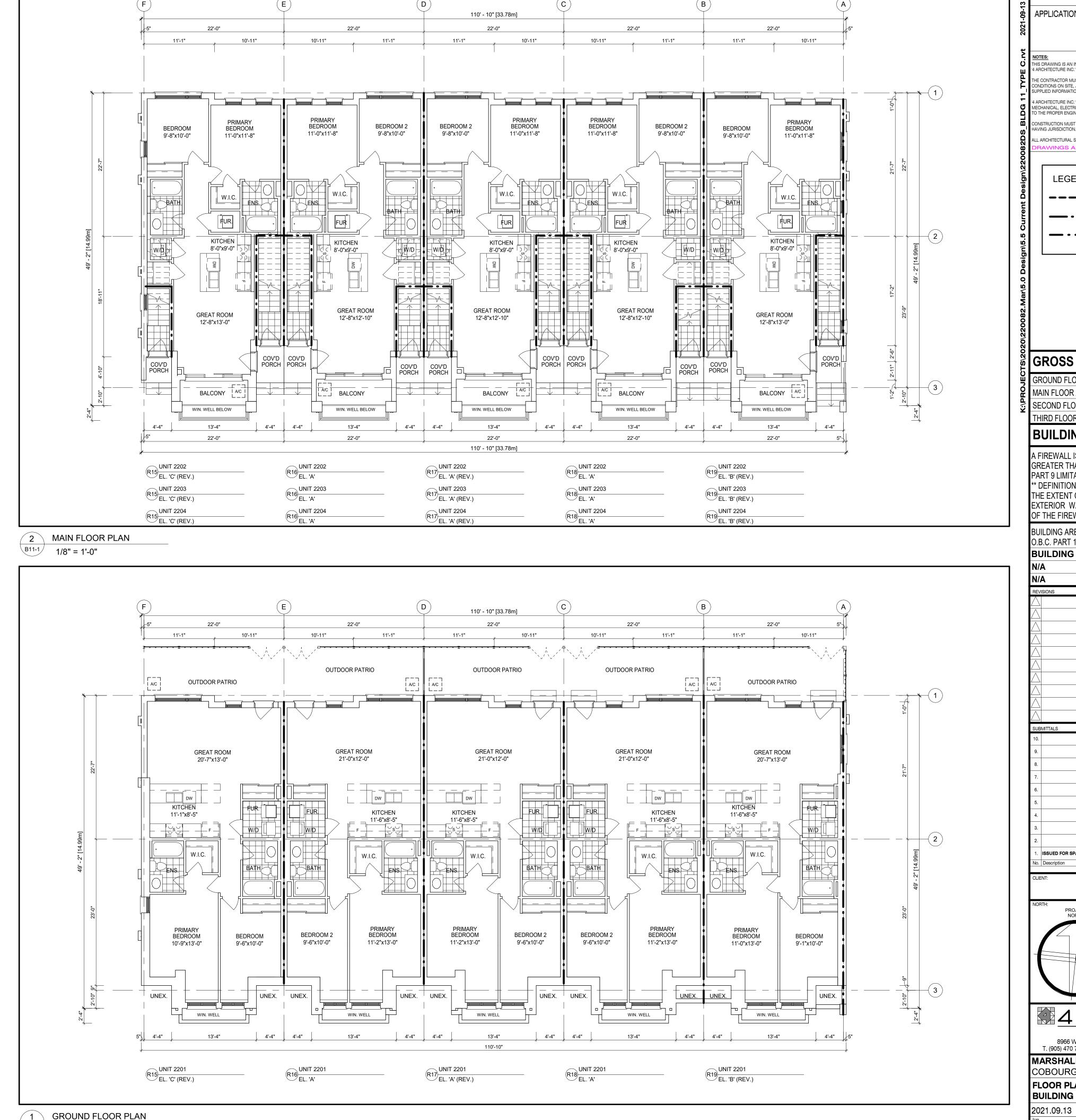
COBOURG, ON
ELEVATIONS

220082DS_BLDG 10_TYPE C.rvt

B10-5

Address:	ne:		8	ARCHITECTURE	venue, Sı	uite 300								
			M	Markham, ON. L3I 905.470.7121 / F	R 0J7		il : mail@4a	rchitecture.ca						
Certificate	e of Prac	ctice Numbe		he Certificate of P	ractice Nu	mber of Re	gistered OAA	A Architect.		The architect r				nsible
Name of	•			Marshall Homes						architect's sea required under System.	l number is th	e architec	t's BCDN	as
Project Loter	ocalion:			Cobourg, Ontario —————	ntario P	uilding Co	ode			Building Code Reference				
leili											es are to Divis			[A] for
4			ata Matri	x Part 3 c	or 9 New	Part 11			or [C] for Div					
1	Project	т резсприоп					Addition	11.1 to	11.4	1.1.2. [A]			[A] & 9.	10.1.3.
2	Major (Occupancy(s)	Change Group C (Resi		A	Alteration			3.1.2.1(1)		9.10.2) 	
3	Buildin	g Area (m2)	<u>, </u>	Existing 0 sq.	m.	New 48	38 m2	Total 488 m	2	1.4.1.2.[A]		1.4.1.2	2.[A]	
4 5	Gross	Area er of Storeys		Existing 0 sq. Above Grade	m. 3	New 18	861 m2 Below G	Total 1861 r	m2	1.4.1.2.[A] 1.4.1.2[A]&	3 2 1 1	1.4.1.2	2.[A] 2[A]&9. ²	10.4
6		of Building (m)	12.47 m			Below	Trade 1		1.4.1.2[/]	J.Z. 1. 1.	1.4.1.	Ζ [Λ] α θ.	10.4
7 8		er of Streets g Classificat		er Access GROUP C (RE	3 SIDENTIA					3.2.2.10.&3		9.10.2		
9		ler System F		Entire Building					A					
9	Оринк	iei Oysteili i		Basement	- Ш	ected Comp eu of Roof	_	Selected Floo		3.2.2.2083 3.2.1.5.	3.2.2.17. INDEX	9.10.8 INDE		
10 11		oipe required						No No		3.2.9. 3.2.4.		N/A 9.10.1	8	
12		Service / Su	oply is Adeq	quate			Yes	No		3.2.5.7.		N/A		
13 14	High B	uilding ted Construc	tion	- 00	nbustible		Yes Non-Comb	No	☐ Both	3.2.6. 3.2.2.208	3	N/A 9.10.6		
		Construction		peri	nitted nbustible		Required Non-Comb		Both	J.Z.Z.ZUC	. •	3.10.0		
15	Mezzai	nine(s) Area	m2	N/A		-			,	3.2.1.1.(3)_	_(8)	9.10.4		
16		ant load bas Occupant Lo			/ person		Design of	Building persons pe	er unit	3.1.17.		9.9.1.3	J.	
	Main F	d Floor: O floor: O d Floor: O	CCUPANCY	Y: 20										
	Third F	loor: O	CCUPANCY	Y: <u> 40 </u>	per hedro	oom								
		th dwelling u			FOI DEUIO	2.11	80	nores :						
17		Free Design	<u> </u>	Yes	No.	(Explain)	80	persons		3.8.1.1		9.5.2.		
18		dous Substa	nces	Yes Horizontal A	No seemblies			Listed Design N	0. Cr	3.3.1.2.&3.		9.10.1	. ,	
19	Res	ired Fire sistance ig (FRR)	F.	Horizontal A FRR (H	ours)			Listed Design N Description (SE		3.2.2.208 3.2.1.4	33 &	9.10.8. 9.10.9.		
		,	Floors	1 HR b/t Unit; (0.75 HR w RATING F									
			Mezzanin		N/A									
				FRR of Sup Memb	porting ers			Listed Design No Description (SE						
			Floors	1 HR b/t Unit; (
			Roof Mezzanin		RATING F	REQ'D								
20	Spatial	•		ion of Exterior Wal			1	1	T	3.2.3.		9.10.1	4.	
		Wall		Area of EBF (m²)	L.D. (m)	L/H or H/L	Permitted Max % of	Proposed % of Openings	FRR (Hours)	Listed Design or	Comb. Const.	Comb. Clad.	Non- comb	Non-comb Constr.
RONT	R15	2201 C		8.21	13.59	N/A	Openings 100%	30%	0 HR	Description N/A	YES	YES	Clad.	
	R15	2202 C		12.59	13.59	N/A	100%	53%	0 HR	N/A	YES	YES		
	R15 R15	2203 C 2204 C		5.16 45.06	13.59	N/A N/A	100%	43% 38%	0 HR 0 HR	N/A N/A	YES	YES		
	D.10			1	13.59	N/A	100%	30%	0 HR	1	YES			
	R16	2201 A		8.21						N/A		YES		1
	R16 R16	2201 A 2202 A 2203 A		8.21 12.59 4.26	13.59	N/A N/A	100% 100%	53% 52%	0 HR 0 HR	N/A N/A	YES	YES YES YES		
	R16 R16 R16	2202 A 2203 A 2204 A		12.59 4.26 43.22	13.59 13.59 13.59	N/A N/A N/A	100% 100%	52% 37%	0 HR 0 HR	N/A N/A N/A	YES YES YES	YES YES YES		
	R16 R16 R16 R17	2202 A 2203 A		12.59 4.26	13.59 13.59 13.59 13.59	N/A N/A	100%	52%	0 HR 0 HR 0 HR	N/A N/A	YES YES YES YES	YES YES YES YES		
	R16 R16 R16	2202 A 2203 A 2204 A 2201 A 2202 A 2203 A		12.59 4.26 43.22 8.21	13.59 13.59 13.59	N/A N/A N/A	100% 100% 100%	52% 37% 30%	0 HR 0 HR	N/A N/A N/A	YES YES YES	YES YES YES		
	R16 R16 R16 R17 R17 R17	2202 A 2203 A 2204 A 2201 A 2202 A 2203 A 2204 A		12.59 4.26 43.22 8.21 12.59 4.26 43.22	13.59 13.59 13.59 13.59 13.59 13.59	N/A N/A N/A N/A N/A N/A	100% 100% 100% 100% 100%	52% 37% 30% 53% 52% 37%	0 HR 0 HR 0 HR 0 HR 0 HR 0 HR	N/A N/A N/A N/A N/A N/A N/A	YES YES YES YES YES YES YES YES YES	YES YES YES YES YES YES YES YES YES		
	R16 R16 R16 R17 R17	2202 A 2203 A 2204 A 2201 A 2202 A 2203 A		12.59 4.26 43.22 8.21 12.59 4.26	13.59 13.59 13.59 13.59 13.59 13.59	N/A N/A N/A N/A N/A	100% 100% 100% 100% 100%	52% 37% 30% 53% 52%	0 HR 0 HR 0 HR 0 HR 0 HR	N/A N/A N/A N/A N/A N/A	YES YES YES YES YES YES YES	YES YES YES YES YES YES YES		
	R16 R16 R17 R17 R17 R17 R18 R18	2202 A 2203 A 2204 A 2201 A 2202 A 2203 A 2204 A 2201 A 2202 A 2203 A		12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.21 12.59 4.26	13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59	N/A	100% 100% 100% 100% 100% 100% 100% 100%	52% 37% 30% 53% 52% 37% 30% 53% 52%	0 HR 0 HR 0 HR 0 HR 0 HR 0 HR 0 HR 0 HR	N/A	YES	YES		
	R16 R16 R17 R17 R17 R17 R18 R18	2202 A 2203 A 2204 A 2201 A 2202 A 2203 A 2204 A 2201 A 2202 A		12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.21 12.59	13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59	N/A N/A N/A N/A N/A N/A N/A	100% 100% 100% 100% 100% 100% 100%	52% 37% 30% 53% 52% 37% 30% 53%	0 HR 0 HR 0 HR 0 HR 0 HR 0 HR 0 HR	N/A	YES	YES		
	R16 R16 R17 R17 R17 R17 R18 R18 R18 R18 R19	2202 A 2203 A 2204 A 2202 A 2203 A 2204 A 2201 A 2201 A 2201 A 2202 A 2203 A 2204 A 2201 B 2202 B		12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.18 12.49	13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59	N/A	100% 100% 100% 100% 100% 100% 100% 100%	52% 37% 30% 53% 52% 37% 30% 52% 37% 30% 53%	0 HR 0 HR 0 HR 0 HR 0 HR 0 HR 0 HR 0 HR	N/A	YES	YES		
	R16 R16 R17 R17 R17 R17 R18 R18 R18 R18	2202 A 2203 A 2204 A 2201 A 2202 A 2203 A 2204 A 2201 A 2202 A 2203 A 2204 A 2203 A 2204 A		12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.18	13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59	N/A	100% 100% 100% 100% 100% 100% 100% 100%	52% 37% 30% 53% 52% 37% 30% 52% 37% 30%	0 HR 0 HR 0 HR 0 HR 0 HR 0 HR 0 HR 0 HR	N/A	YES	YES		
EAR	R16 R16 R17 R17 R17 R17 R18 R18 R18 R19 R19 R19	2202 A 2203 A 2204 A 2202 A 2203 A 2204 A 2201 A 2201 A 2202 A 2202 A 2203 A 2204 A 2202 B 2203 B 2204 B 2201 B		12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.18 12.49 4.06 45.72 37.49	13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59	N/A	100% 100% 100% 100% 100% 100% 100% 100%	52% 37% 30% 53% 52% 37% 30% 53% 52% 37% 30% 55% 38% 33%	0 HR 0 HR	N/A	YES	YES		
EAR .	R16 R16 R17 R17 R17 R17 R18 R18 R18 R18 R19 R19	2202 A 2203 A 2204 A 2201 A 2202 A 2203 A 2204 A 2201 A 2202 A 2203 A 2204 A 2201 B 2202 B 2203 B 2204 B		12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.18 12.49 4.06 45.72	13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59	N/A	100% 100% 100% 100% 100% 100% 100% 100%	52% 37% 30% 53% 52% 37% 30% 53% 52% 37% 30% 53% 55% 38%	0 HR 0 HR	N/A	YES	YES		
EAR .	R16 R16 R17 R17 R17 R17 R18 R18 R18 R19 R19 R19 R19 R19 R19 R19 R19	2202 A 2203 A 2204 A 2202 A 2203 A 2204 A 2201 A 2201 A 2202 A 2202 A 2202 A 2203 A 2204 A 2201 B 2202 B 2203 B 2204 B 2201 B 2201 B 2201 B 2201 A		12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.18 12.49 4.06 45.72 37.49 21.47 40.81 22.53	13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.749 37.49 37.49	N/A	100% 100% 100% 100% 100% 100% 100% 100%	52% 37% 30% 53% 52% 37% 30% 53% 52% 37% 30% 53% 55% 38% 33% 30% 41% 33%	0 HR	N/A	YES	YES		
EAR	R16 R16 R17 R17 R17 R17 R18 R18 R18 R19 R19 R19 R19 R19 R19 R19	2202 A 2203 A 2204 A 2201 A 2202 A 2203 A 2204 A 2201 A 2202 A 2203 A 2204 A 2202 B 2203 B 2204 B 2201 B 2201 B 2201 B 2201 B		12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.18 12.49 4.06 45.72 37.49 21.47 40.81	13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.79 13.79 13.79 13.79	N/A	100% 100% 100% 100% 100% 100% 100% 100%	52% 37% 30% 53% 52% 37% 30% 53% 52% 37% 30% 55% 38% 33% 30% 41%	0 HR	N/A	YES	YES		
EAR	R16 R16 R17 R17 R17 R17 R18 R18 R18 R19	2202 A 2203 A 2204 A 2202 A 2203 A 2204 A 2201 A 2201 A 2202 A 2203 A 2204 A 2202 B 2203 B 2204 B 2201 B 2202 B 2201 B 2201 B 2201 A 2202 A 2203 A 2201 A 2201 A 2201 A		12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.18 12.49 4.06 45.72 37.49 21.47 40.81 22.53 21.47 40.81 22.53	13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.749 37.49 37.49 37.49 37.49 9.21	N/A	100% 100% 100% 100% 100% 100% 100% 100%	52% 37% 30% 53% 52% 37% 30% 53% 52% 37% 30% 53% 55% 38% 33% 30% 41% 33% 30% 41%	0 HR	N/A	YES	YES		
EAR	R16 R16 R17 R17 R17 R17 R18 R18 R18 R19	2202 A 2203 A 2204 A 2202 A 2203 A 2204 A 2201 A 2201 A 2202 A 2203 A 2204 A 2201 B 2202 B 2203 B 2204 B 2201 B 2202 B 2201 A 2202 A 2203 A 2201 A 2202 A		12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.18 12.49 4.06 45.72 37.49 21.47 40.81 22.53 21.47 40.81	13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.79 13.79 13.749 37.49 37.49 37.49	N/A	100% 100% 100% 100% 100% 100% 100% 100%	52% 37% 30% 53% 52% 37% 30% 53% 52% 37% 30% 53% 55% 38% 33% 30% 41% 33% 30% 41% 33% 30%	0 HR	N/A	YES	YES		
EAR	R16 R16 R17 R17 R17 R17 R18 R18 R18 R19	2202 A 2203 A 2204 A 2202 A 2203 A 2204 A 2201 A 2201 A 2202 A 2201 A 2202 B 2203 B 2204 B 2201 B 2202 B 2203 B 2201 A 2202 A 2201 A 2202 A 2203 A 2201 A 2201 A 2201 A 2201 A 2201 A 2201 A		12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.18 12.49 4.06 45.72 37.49 21.47 40.81 22.53 21.47 40.81 22.53 21.47	13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.79 13.79 13.79 13.79 13.749 37.49 37.49 9.21	N/A	100% 100% 100% 100% 100% 100% 100% 100%	52% 37% 30% 53% 52% 37% 30% 53% 52% 37% 30% 53% 55% 38% 33% 30% 41% 33% 30% 41%	0 HR	N/A	YES	YES		
EAR .	R16 R16 R17 R17 R17 R17 R18 R18 R18 R19 R19 R19 R19 R19 R19 R17 R17 R17 R16 R16	2202 A 2203 A 2204 A 2201 A 2202 A 2203 A 2204 A 2201 A 2202 A 2203 A 2204 B 2201 B 2201 B 2201 B 2201 B 2201 B 2201 A 2201 A 2201 A 2202 A 2203 A 2201 A 2202 A 2203 A 2201 A 2202 A		12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.18 12.49 4.06 45.72 37.49 21.47 40.81 22.53 21.47 40.81 22.53 21.47 40.81	13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.749 37.49 37.49 37.49 9.21 9.21	N/A	100% 100% 100% 100% 100% 100% 100% 100%	52% 37% 30% 53% 52% 37% 30% 53% 52% 37% 30% 53% 55% 38% 33% 30% 41% 33% 30% 41% 33% 30%	0 HR	N/A	YES	YES		
EAR .	R16 R16 R17 R17 R17 R17 R18 R18 R18 R19 R19 R19 R19 R19 R19 R17 R17 R18	2202 A 2203 A 2204 A 2202 A 2203 A 2204 A 2201 A 2201 A 2202 A 2201 A 2202 B 2203 B 2204 B 2201 B 2202 B 2203 B 2201 A 2202 A 2201 A 2202 A 2203 A 2201 A 2201 A 2201 A 2201 A 2201 A 2201 A		12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.18 12.49 4.06 45.72 37.49 21.47 40.81 22.53 21.47 40.81 22.53 21.47 40.81 22.53	13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.79 13.79 13.79 13.749 37.49 37.49 37.49 37.49 9.21 9.21 9.21	N/A	100% 100% 100% 100% 100% 100% 100% 100%	52% 37% 30% 53% 52% 37% 30% 53% 52% 37% 30% 55% 38% 33% 30% 41% 33% 30% 41% 33% 30%	0 HR	N/A	YES	YES		
EAR .	R16 R16 R17 R17 R17 R17 R18 R18 R18 R19 R19 R19 R19 R19 R19 R17	2202 A 2203 A 2204 A 2202 A 2203 A 2204 A 2201 A 2202 A 2203 A 2204 A 2201 B 2202 B 2203 B 2201 B 2201 B 2202 B 2203 A 2201 A 2202 A 2203 A 2201 C 2202 C		12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.18 12.49 4.06 45.72 37.49 21.47 40.81 22.53 21.47 40.81 22.53 21.47 40.81 22.53 21.47 40.81 22.53	13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.749 37.49 37.49 37.49 37.49 9.21 9.21 9.21 9.21 9.21 9.21	N/A	100% 100% 100% 100% 100% 100% 100% 100%	52% 37% 30% 53% 52% 37% 30% 53% 52% 37% 30% 53% 55% 38% 33% 30% 41% 33% 30% 41% 33% 30% 41% 33% 30%	0 HR	N/A	YES	YES		
	R16 R16 R17 R17 R17 R18 R18 R18 R18 R19 R19 R19 R19 R19 R19 R17 R17 R16 R16 R16 R16 R15	2202 A 2203 A 2204 A 2201 A 2202 A 2203 A 2204 A 2201 A 2202 A 2203 A 2204 B 2201 B 2201 B 2201 B 2201 B 2201 B 2201 A 2201 A 2201 A 2202 A 2201 A 2202 A 2201 A		12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.18 12.49 4.06 45.72 37.49 21.47 40.81 22.53 21.47 40.81 22.53 21.47 40.81 22.53	13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.749 37.49 37.49 37.49 9.21 9.21 9.21 9.21	N/A	100% 100% 100% 100% 100% 100% 100% 100%	52% 37% 30% 53% 52% 37% 30% 53% 52% 37% 30% 53% 55% 38% 33% 30% 41% 33% 30% 41% 33% 30% 41%	0 HR	N/A	YES	YES		
	R16 R16 R17 R17 R17 R17 R18 R18 R18 R18 R19 R19 R19 R19 R19 R19 R19 R19 R16 R16 R17 R17 R17 R17 R17 R17 R17 R17 R17 R16 R16 R16 R15 R15 R15	2202 A 2203 A 2204 A 2203 A 2204 A 2201 A 2201 A 2201 A 2202 A 2203 A 2204 A 2201 B 2202 B 2203 B 2201 B 2201 B 2202 B 2201 A 2202 A 2203 A 2201 A 2202 A 2203 A 2201 A 2202 A 2201 C 2202 C 2202 C		12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.18 12.49 4.06 45.72 37.49 21.47 40.81 22.53 21.47 40.81 22.53 21.47 40.81 22.53 21.47 40.81 22.53 21.47 40.81 22.53 21.47 40.81 22.53 21.47 40.81 22.53	13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.749 37.49 37.49 37.49 37.49 9.21 9.21 9.21 9.21 9.21 9.21 9.21 9.2	N/A	100% 100% 100% 100% 100% 100% 100% 100%	52% 37% 30% 53% 52% 37% 30% 53% 52% 37% 30% 53% 55% 38% 33% 30% 41% 33% 30% 41% 33% 30% 41% 33% 30% 41% 33% 30% 41% 33% 30% 41% 33% 30%	0 HR	N/A	YES	YES		
	R16 R16 R17 R17 R17 R17 R18 R18 R18 R19	2202 A 2203 A 2204 A 2202 A 2203 A 2204 A 2201 A 2202 A 2203 A 2204 A 2201 B 2202 B 2203 B 2204 B 2201 B 2202 B 2201 A 2202 A 2201 C 2201 C		12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.18 12.49 4.06 45.72 37.49 21.47 40.81 22.53 21.47 40.81 22.53 21.47 40.81 22.53 21.47 40.81 22.53 21.47 40.81 22.53 21.47 40.81 22.53	13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.749 37.49 37.49 37.49 37.49 9.21 9.21 9.21 9.21 9.21 9.21 9.21 9.2	N/A	100% 100% 100% 100% 100% 100% 100% 100%	52% 37% 30% 53% 52% 37% 30% 53% 52% 37% 30% 53% 55% 38% 33% 30% 41% 33% 30% 41% 33% 30% 41% 33% 30% 41% 33% 30% 41%	0 HR	N/A	YES	YES		
EAR GHT	R16 R16 R17 R17 R17 R17 R18 R18 R18 R18 R19	2202 A 2203 A 2204 A 2203 A 2204 A 2203 A 2204 A 2201 A 2202 A 2203 A 2204 A 2201 B 2202 B 2203 B 2201 B 2201 B 2202 B 2203 A 2201 A 2202 A 2203 A 2201 A 2202 A 2203 A 2201 C 2202 C 2203 C 2204 C 2201 B		12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.18 12.49 4.06 45.72 37.49 21.47 40.81 22.53 21.47 40.81 22.53 21.47 40.81 22.53 21.47 40.81 22.53 21.47 40.81 22.53 21.47 40.81 22.53 21.47 40.81 22.53 21.47 40.81 22.53 21.47 40.81 22.53 21.47 40.81 22.53 21.47 40.81 22.53 21.47 40.81 22.53 21.47 40.81 22.53 21.47 40.81 22.53 21.47 40.81 22.53 21.47 40.81 22.53 21.47 40.81 22.53 21.47 40.81 22.53 21.47 40.81	13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.7.49 37.49 37.49 37.49 37.49 9.21 9.21 9.21 9.21 9.21 9.21 9.21 9.2	N/A	100% 100% 100% 100% 100% 100% 100% 100%	52% 37% 30% 53% 52% 37% 30% 53% 52% 37% 30% 53% 55% 38% 33% 30% 41% 33% 30% 41% 33% 30% 41% 33% 30% 41% 33% 30% 41% 33% 30% 41% 33% 30% 41% 33% 30% 41% 33% 30% 41% 33% 30% 41% 33% 30% 41%	0 HR	N/A	YES	YES	YES	
FT	R16 R16 R17 R17 R17 R17 R18 R18 R18 R18 R19	2202 A 2203 A 2204 A 2203 A 2204 A 2201 A 2201 A 2202 A 2203 A 2204 A 2201 B 2202 B 2203 B 2201 B 2202 B 2201 A 2202 A 2201 A 2202 A 2201 A 2202 A 2201 A 2202 A 2201 C 2202 C 2203 C 2204 C 2201 B	Z1	12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.18 12.49 4.06 45.72 37.49 21.47 40.81 22.53 21.47 40.81 22.53 21.47 40.81 22.53 21.47 40.81 22.53 21.47 40.81 22.53 21.47 40.81 22.53 21.47 40.81 22.53	13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.749 37.49 37.49 37.49 37.49 9.21 9.21 9.21 9.21 9.21 9.21 9.21 9.2	N/A	100% 100% 100% 100% 100% 100% 100% 100%	52% 37% 30% 53% 52% 37% 30% 53% 52% 37% 30% 53% 55% 38% 33% 30% 41% 33% 30% 41% 33% 30% 41% 33% 30% 41% 33% 30% 41% 33% 30% 41% 33% 30% 41% 33% 30% 41% 33% 30% 41% 33% 30% 41%	0 HR	N/A	YES	YES	YES	
FT	R16 R16 R17 R17 R17 R17 R18 R18 R18 R18 R19 R19 R19 R19 R19 R19 R16 R16 R16 R16 R16 R15 R15 R15 R15 R15 R15 R15 R15 R15 R17	2202 A 2203 A 2204 A 2201 A 2202 A 2203 A 2204 A 2201 A 2202 A 2203 A 2204 A 2201 B 2202 B 2201 B 2201 B 2201 A 2202 A 2201 A 2201 A 2202 A 2201 A 2202 A 2201 A 2202 A 2201 C 2202 C 2201 C 2201 C 2201 C 2201 B 2201 B 2201 B		12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.18 12.49 4.06 45.72 37.49 21.47 40.81 22.53 21.47 40.81	13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.7.49 37.49 37.49 37.49 37.49 9.21 9.21 9.21 9.21 9.21 9.21 9.21 9.2	N/A	100% 100% 100% 100% 100% 100% 100% 100%	52% 37% 30% 53% 52% 37% 30% 53% 52% 37% 30% 55% 38% 33% 30% 41%	0 HR	N/A	YES	YES	YES	
FT	R16 R16 R17 R17 R17 R17 R18 R18 R18 R18 R19 R19 R19 R19 R19 R19 R19 R18 R18 R18 R18 R18 R18 R17 R17 R17 R16 R16 R15	2202 A 2203 A 2204 A 2201 A 2202 A 2203 A 2204 A 2201 A 2202 A 2203 A 2204 A 2201 B 2202 B 2203 B 2201 B 2201 B 2202 B 2201 A 2202 A 2201 A 2202 A 2201 A 2202 A 2201 A 2202 A 2201 C 2201 C 2201 C 2201 C 2201 C 2201 C 2201 B 2202 B	Z2	12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.21 12.59 4.26 43.22 8.18 12.49 4.06 45.72 37.49 21.47 40.81 22.53 21.47 41.07 24.58 26.64 40.21 54.34 24.03 25.67 19.65 36.01 38.22	13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.59 13.749 37.49 37.49 37.49 37.49 9.21 9.21 9.21 9.21 9.21 9.21 9.21 9.2	N/A	100% 100% 100% 100% 100% 100% 100% 100%	52% 37% 30% 53% 52% 37% 30% 53% 52% 37% 30% 53% 55% 38% 33% 30% 41%	0 HR	N/A	YES	YES	YES	

BUILDING 11



APPLICATION NUMBER: APPLICATION NUMBER: THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND ONDITIONS ON SITE, AND MUST NOTIFY '4 ARCHITECTURE INC.' OF ANY VARIATION FROM THE ARCHITECTURE INC.' IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC., ENGINEERING INFORMATION SHOWN ON THIS DRAWING. REFER TO THE PROPER ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. INSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES ALL ARCHITECTURAL SYMBOLS INDICATED ARE GRAPHIC REPRESENTATIONS ONLY. WINGS ARE NOT TO BE SCALED LEGEND FIRE SEPARATION: 45 MIN. FRR FIRE SEPARATION: 1.0 HR FRR FIRE SEPARATION: 2.0 HR FRR **GROSS FLOOR AREA** 1861.31 sq.m. (20035 sq.ft.) 487.00 sq.m. (5242 sq.ft.) GROUND FLOOR AREA 450.86 sq.m. (4853 sq.ft) MAIN FLOOR AREA ECOND FLOOR AREA 466.84 sq.m. (5025 sq.ft.) 465.91 sq.m. (5015 sq.ft.) THIRD FLOOR AREA **BUILDING AREA** 488.39 sq.m.(5257 sq.ft.) A FIREWALL IS REQUIRED IF THE BUILDING AREA IS GREATER THAN 600 m2 (6458 sq ft) AS PER BUILDING CODE PART 9 LIMITATIONS SECTION 1.1.2.4.(1) ** DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2. IS THE EXTENT OF THE GREATEST HORIZONTAL BUILDING EXTERIOR WALLS ABOVE GRADE TO IF REQ'D THE CENTER OF THE FIREWALL (DEMISING LINE) BUILDING AREA CALCULATION FOR FIREWALLS AS PER O.B.C. PART 1 SECTION 1.1.2.4.(1), PART 3.1. & 9.10. BUILDING AREA SEPERATED BY FIREWALL 0.00 sq.m. (0 sq.ft.) 0.00 sq.m. (0 sq.ft.)

ISSUED FOR SPA SUBMISSION 2021.09.13 YYYY.MM.DD I

MARSHALL HOMES

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MARSHALL HOMES - 220082

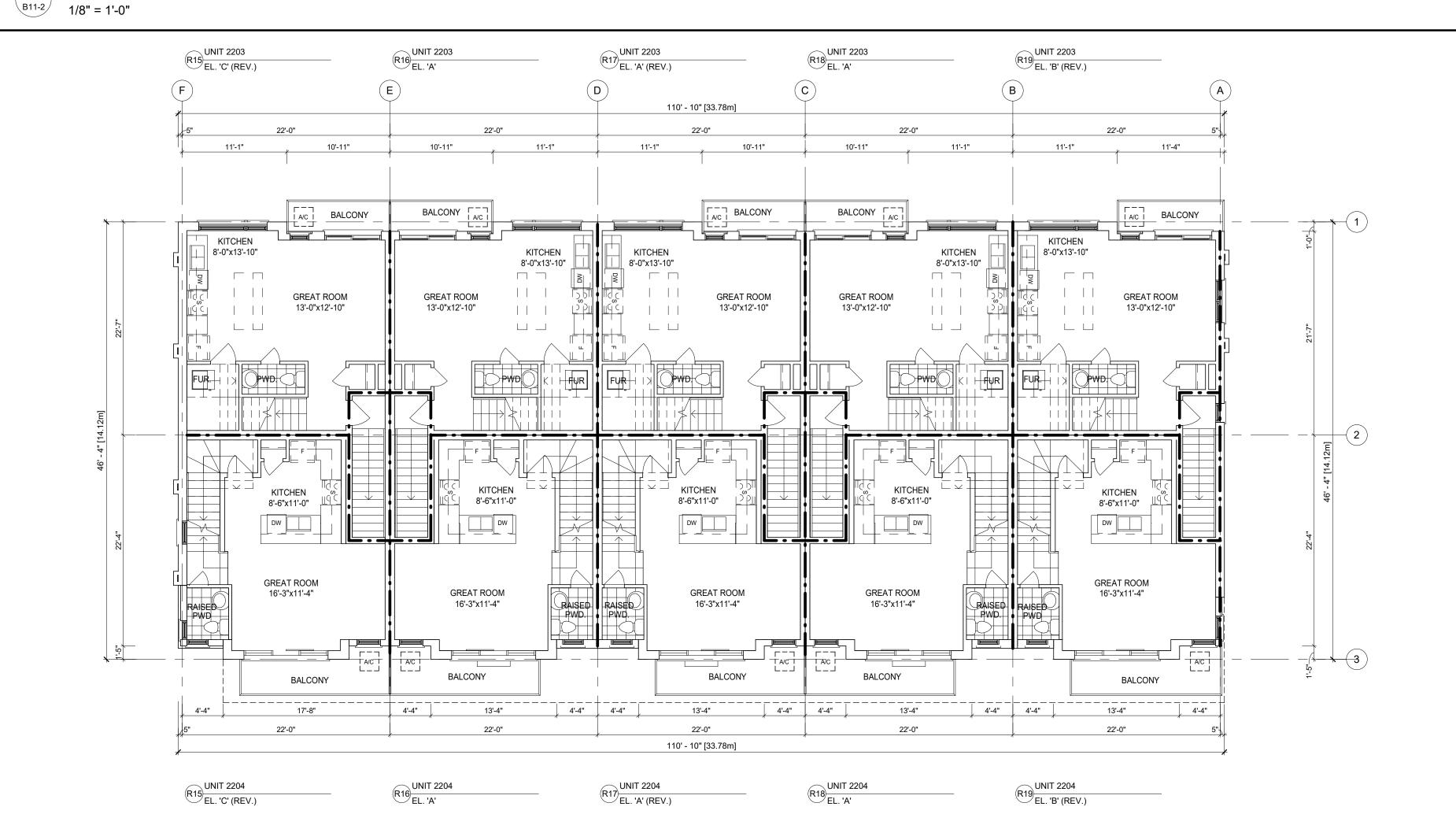
COBOURG, ON FLOOR PLANS **BUILDING 11**

As indicated

220082DS BLDG 11 TYPE C.rvt

1/8" = 1'-0"



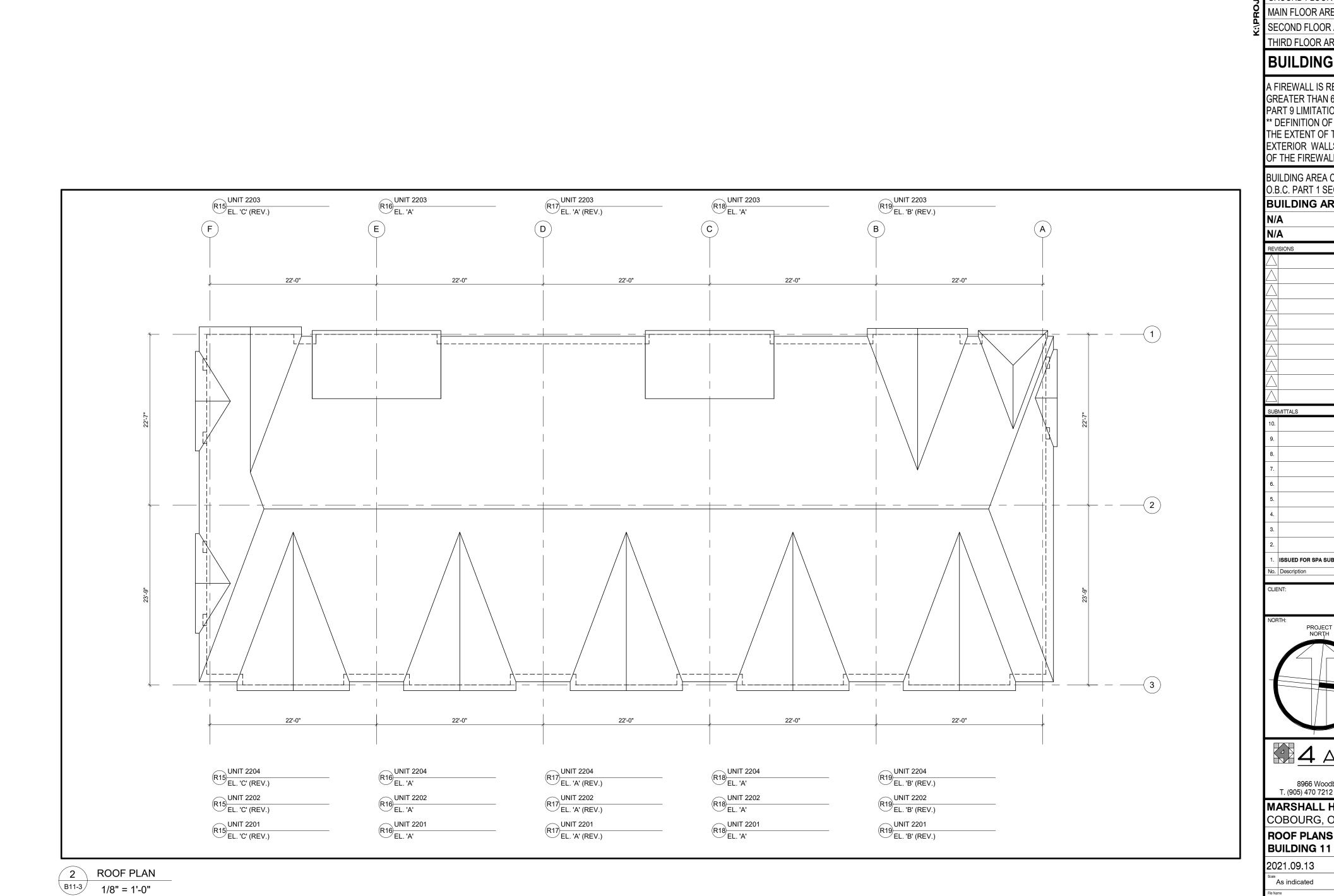


APPLICATION NUMBER: APPLICATION NUMBER: THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND ONDITIONS ON SITE, AND MUST NOTIFY '4 ARCHITECTURE INC.' OF ANY VARIATION FROM THE '4 ARCHITECTURE INC.' IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC., ENGINEERING INFORMATION SHOWN ON THIS DRAWING. REFER TO THE PROPER ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. DINSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES ALL ARCHITECTURAL SYMBOLS INDICATED ARE GRAPHIC REPRESENTATIONS ONLY. AWINGS ARE NOT TO BE SCALED LEGEND FIRE SEPARATION: 45 MIN. FRR FIRE SEPARATION: 1.0 HR FRR FIRE SEPARATION: 2.0 HR FRR **GROSS FLOOR AREA** 1861.31 sq.m. (20035 sq.ft.) 487.00 sq.m. (5242 sq.ft.) GROUND FLOOR AREA 450.86 sq.m. (4853 sq.ft) MAIN FLOOR AREA SECOND FLOOR AREA 466.84 sq.m. (5025 sq.ft.) 465.91 sq.m. (5015 sq.ft.) THIRD FLOOR AREA **BUILDING AREA** 488.39 sq.m.(5257 sq.ft.) A FIREWALL IS REQUIRED IF THE BUILDING AREA IS GREATER THAN 600 m2 (6458 sq ft) AS PER BUILDING CODE PART 9 LIMITATIONS SECTION 1.1.2.4.(1) ** DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2. IS THE EXTENT OF THE GREATEST HORIZONTAL BUILDING EXTERIOR WALLS ABOVE GRADE TO IF REQ'D THE CENTER OF THE FIREWALL (DEMISING LINE) BUILDING AREA CALCULATION FOR FIREWALLS AS PER O.B.C. PART 1 SECTION 1.1.2.4.(1), PART 3.1. & 9.10. BUILDING AREA SEPERATED BY FIREWALL 0.00 sq.m. (0 sq.ft.) 0.00 sq.m. (0 sq.ft.) ISSUED FOR SPA SUBMISSION 2021.09.13 YYYY.MM.DD I MARSHALL HOMES 8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7 T. (905) 470 7212 // F. (905) 737 7326 email: mail@4architecture.ca MARSHALL HOMES - 220082 COBOURG, ON FLOOR PLANS **BUILDING 11** 2021.09.13 As indicated

220082DS_BLDG 11_TYPE C.rvt

1 SECOND FLOOR PLAN

1/8" = 1'-0"



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EXTERIOR COLOUR SELECTION	MANUFACTURER	1 Std. Towns	2 RL Towns	3 Stacked Towns			
Roof	BP Mystique	2-Tone Black	2-Tone Black	2-Tone Black			
Soffit, Eavestroughs, RWL and Freize Board	Giancola Aluminum	Slate	Iron Ore	Slate			
Brick 1 (Base Brick)	Meridian Brick	Portland	Vanier	Vanier			
Brick 2 (Upper Brick)	Meridian Brick	Kelowna	Portland	Kelowna			
Vinyl Siding, (including corner trim & caping)	Mitten	Stratus	White	Stratus			
Non-combustible Siding Where required	James Hardie	C	colour to match Vinyl Sidin	yl Siding			
Front Door & Garage Door	Sherwin Williams	Perle Noir SW 9154	Perle Noir SW 9154	Perle Noir SW 9154			
Prefinished Exterior Trim, Panels, Exterior Posts & Door Frame	Sherwin Williams	Popular Gray SW6071	Popular Gray SW6071	Popular Gray SW6071			
Windows	Newmar	Black	Black	Black			
Railings	Airport Railing	Black	Black	Black			



1 REAR ELEVATION 1/8" = 1'-0"

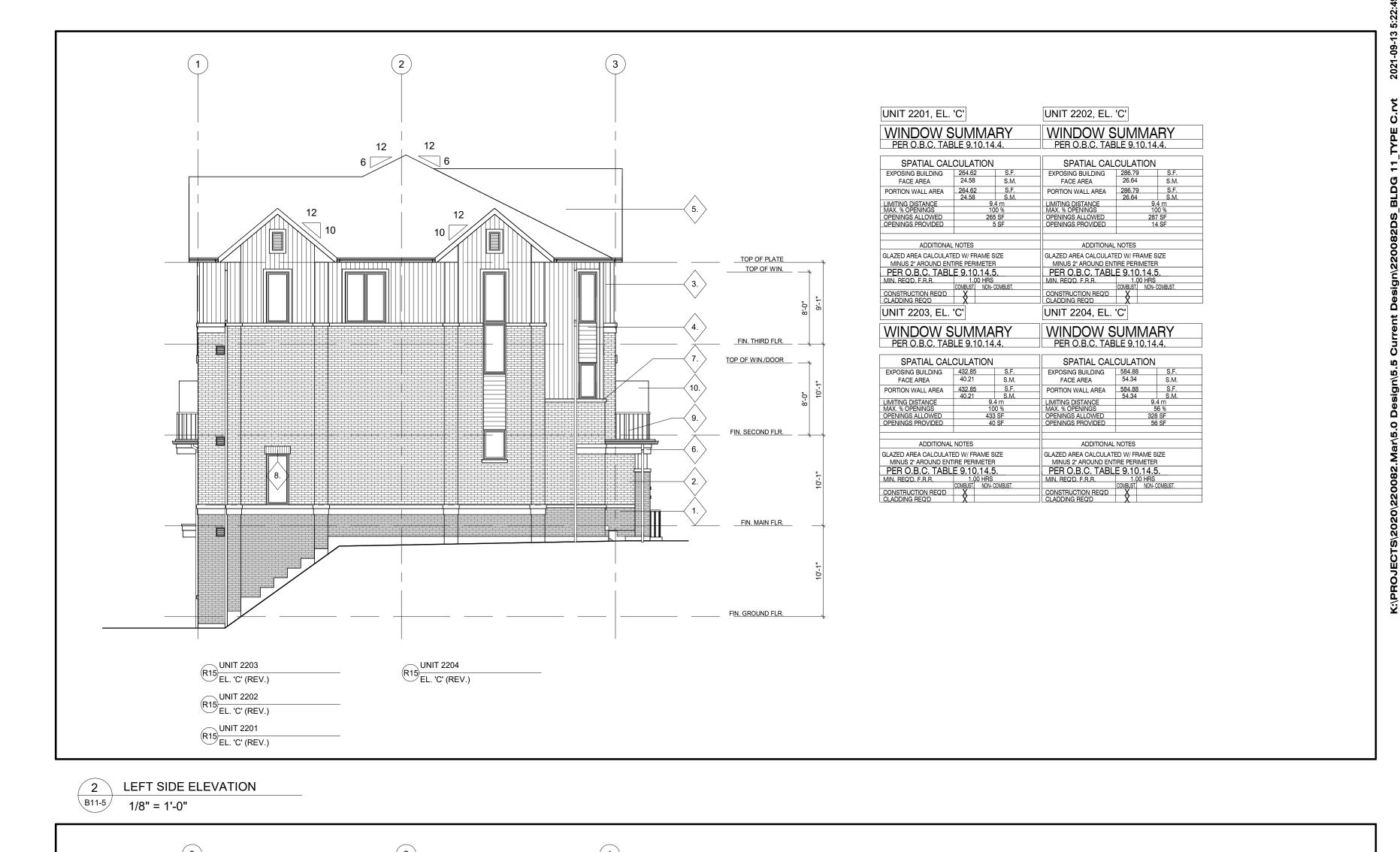
ELEVATIONS BUILDING 11 2021.09.13

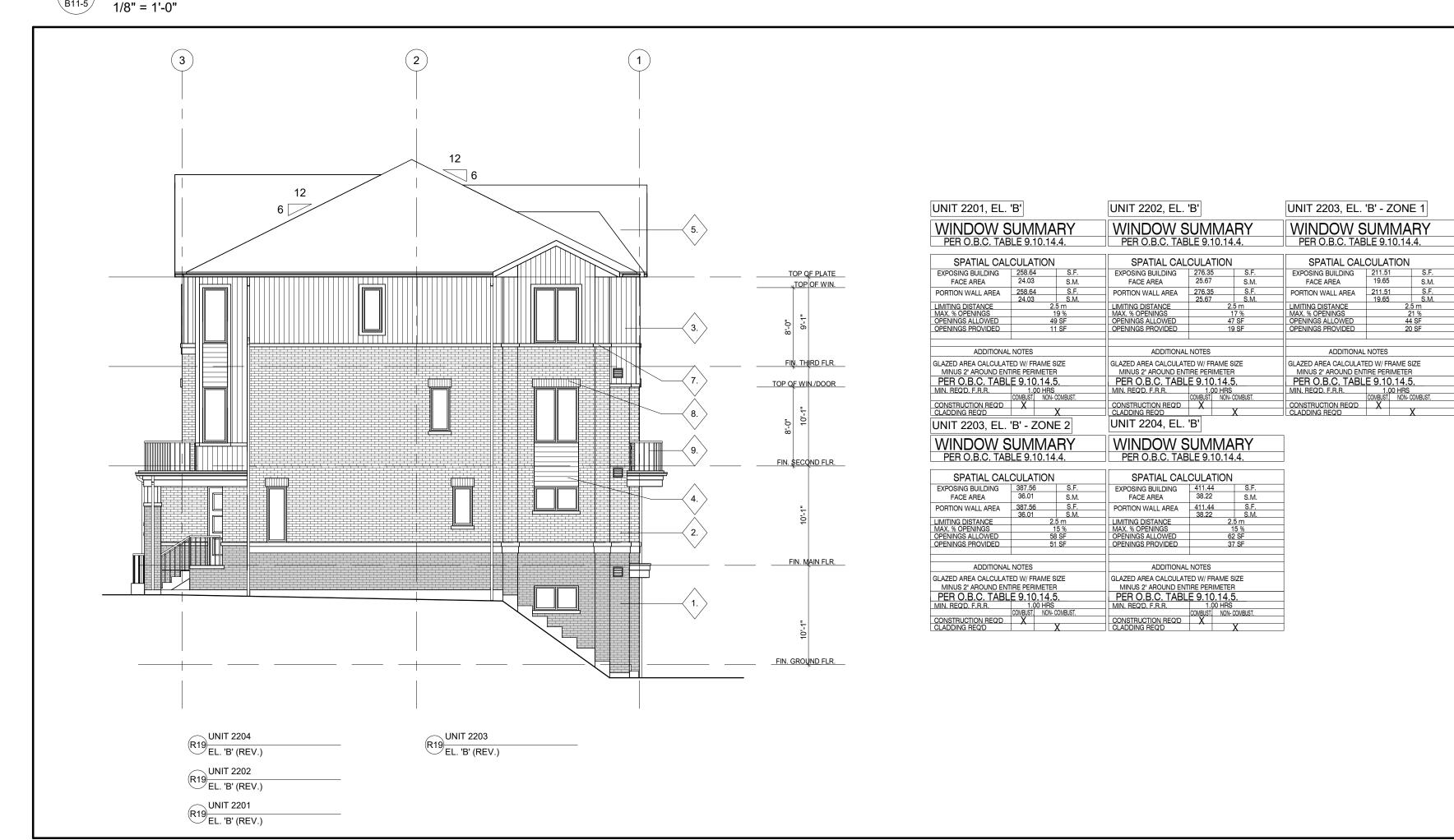
APPLICATION NUMBER:

B1

2021.09.13 S

MARSHALL HOMES





1 RIGHT SIDE ELEVATION

1/8" = 1'-0"

SIONS		
ANITTAL C		
WITTALS		
ISSUED FOR SPA SUBMISSION	2021.09.13	s
ISSUED FOR SPA SUBMISSION	2021.09.13	
	MITTALS	MITTALS

APPLICATION NUMBER:

APPLICATION NUMBER:

'4 ARCHITECTURE INC.'

SUPPLIED INFORMATION.

THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND

ALL ARCHITECTURAL SYMBOLS INDICATED ARE GRAPHIC REPRESENTATIONS ONLY.

AWINGS ARE NOT TO BE SCALED.

MATERIAL LEGEND

(1) BRICK VENEER 1

2 BRICK VENEER 2

③ VERTICAL SIDING

4 HORIZONTAL SIDING

(5) ASPHALT SHINGLES

6 ALUMINUM FRIEZE BOARD

8 BRICK SOLDIER COURSE

ALUMINIUM RAILING

7 PRECAST CONC. SILL / BANDING

CONDITIONS ON SITE, AND MUST NOTIFY '4 ARCHITECTURE INC.' OF ANY VARIATION FROM THE

'4 ARCHITECTURE INC.' IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC., ENGINEERING INFORMATION SHOWN ON THIS DRAWING. REFER TO THE PROPER ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK.

CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES

NORTH: STAMP:

4 ARCHITECTURE INC.

WWW.4ARCHITECTURE.CA

8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7 T. (905) 470 7212 // F. (905) 737 7326 email: mail@4architecture.ca

MARSHALL HOMES - 220082 COBOURG, ON

ELEVATIONS

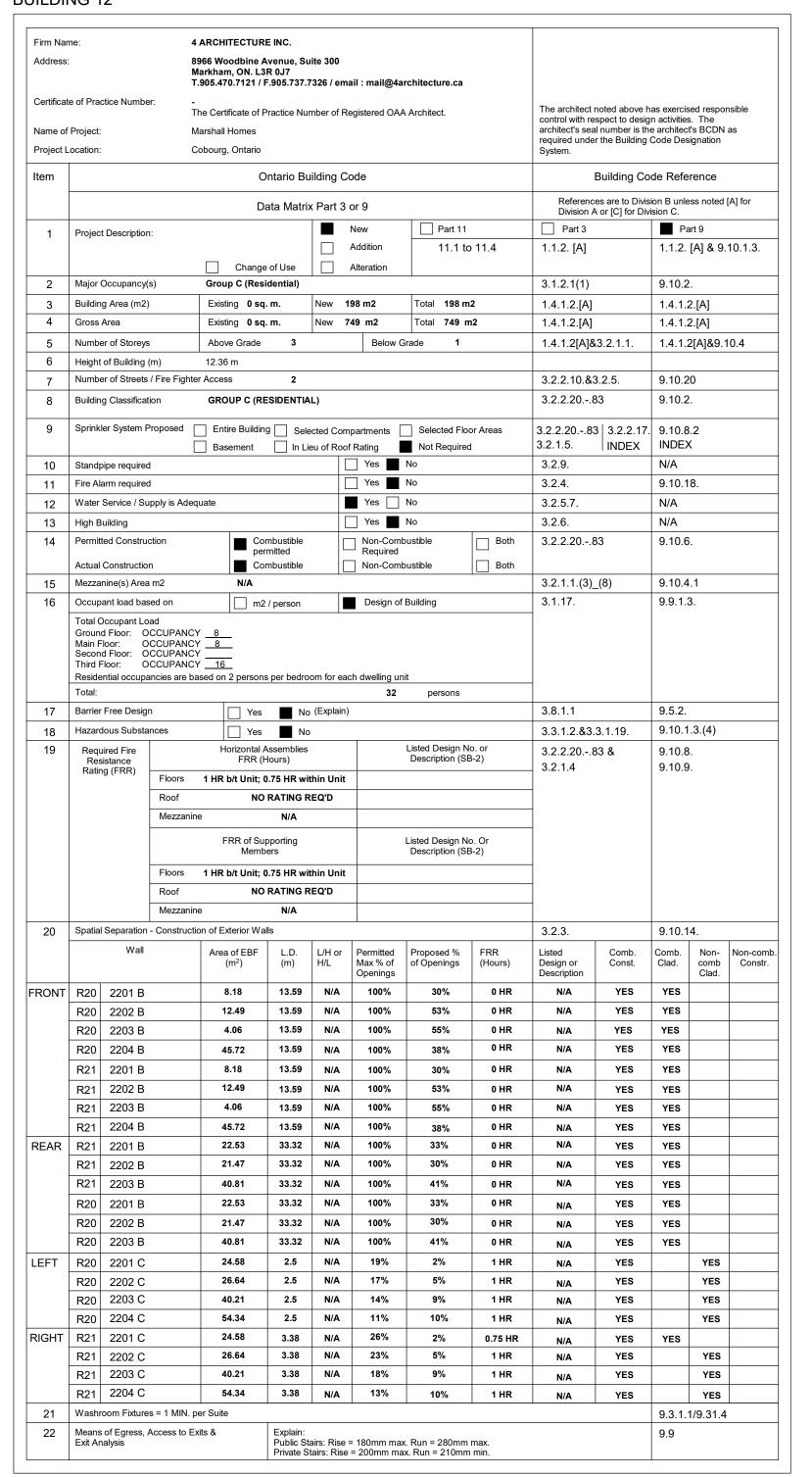
2021.09.13

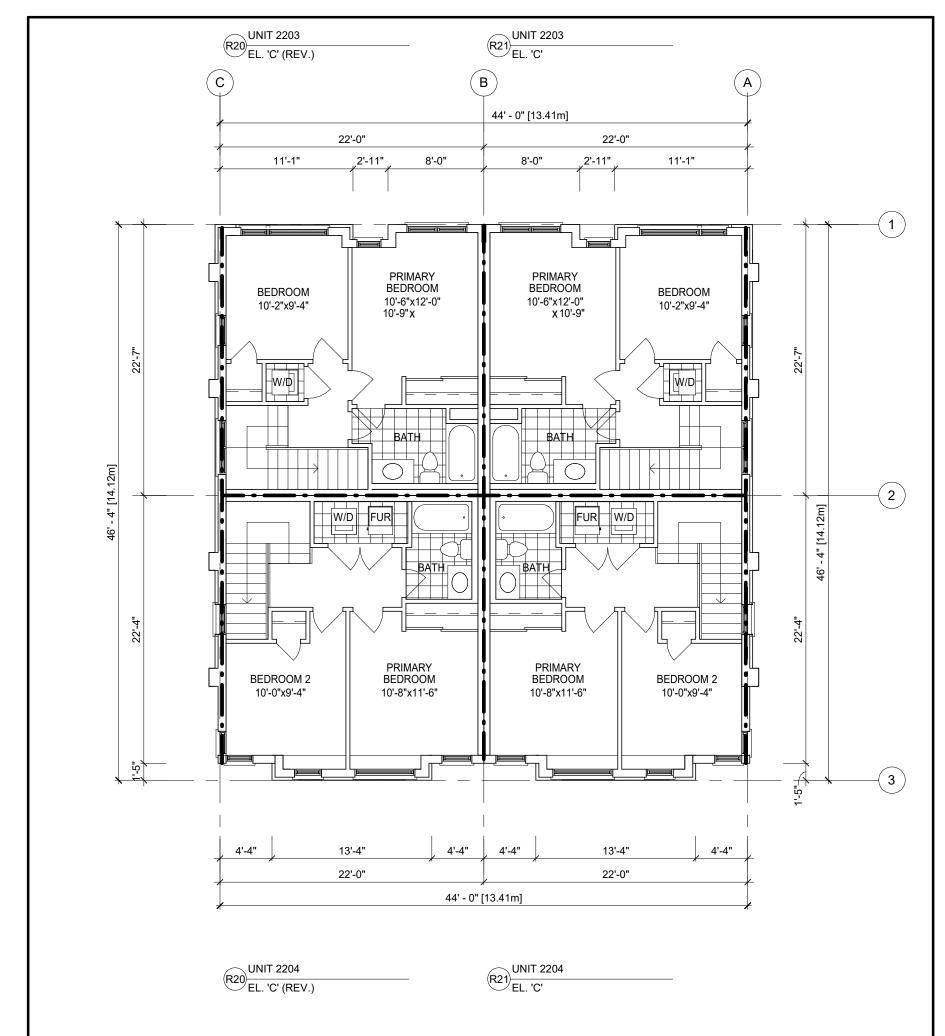
1/8" = 1'-0"

220082DS BLDG 11 TYPE C.rvt

B11_

BUILDING 12





8'-6"x11'-0"

GREAT ROOM

16'-3"x11'-4"

13'-4"

22'-0"

BALCONY

PWD

4'-4"

UNIT 2204

R20 EL. 'C' (REV.)

SECOND FLOOR PLAN

1/8" = 1'-0"

8'-6"x11'-0"

GREAT ROOM

13'-4"

22'-0"

4'-4"

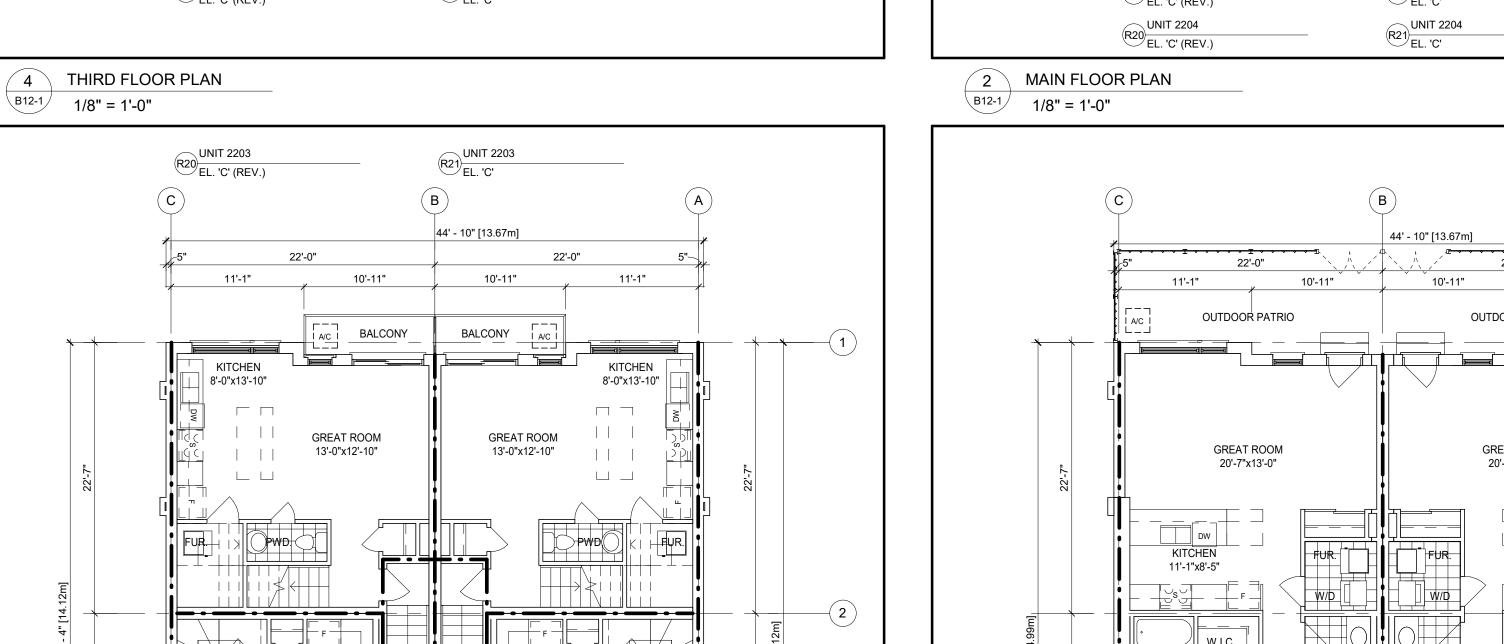
BALCONY

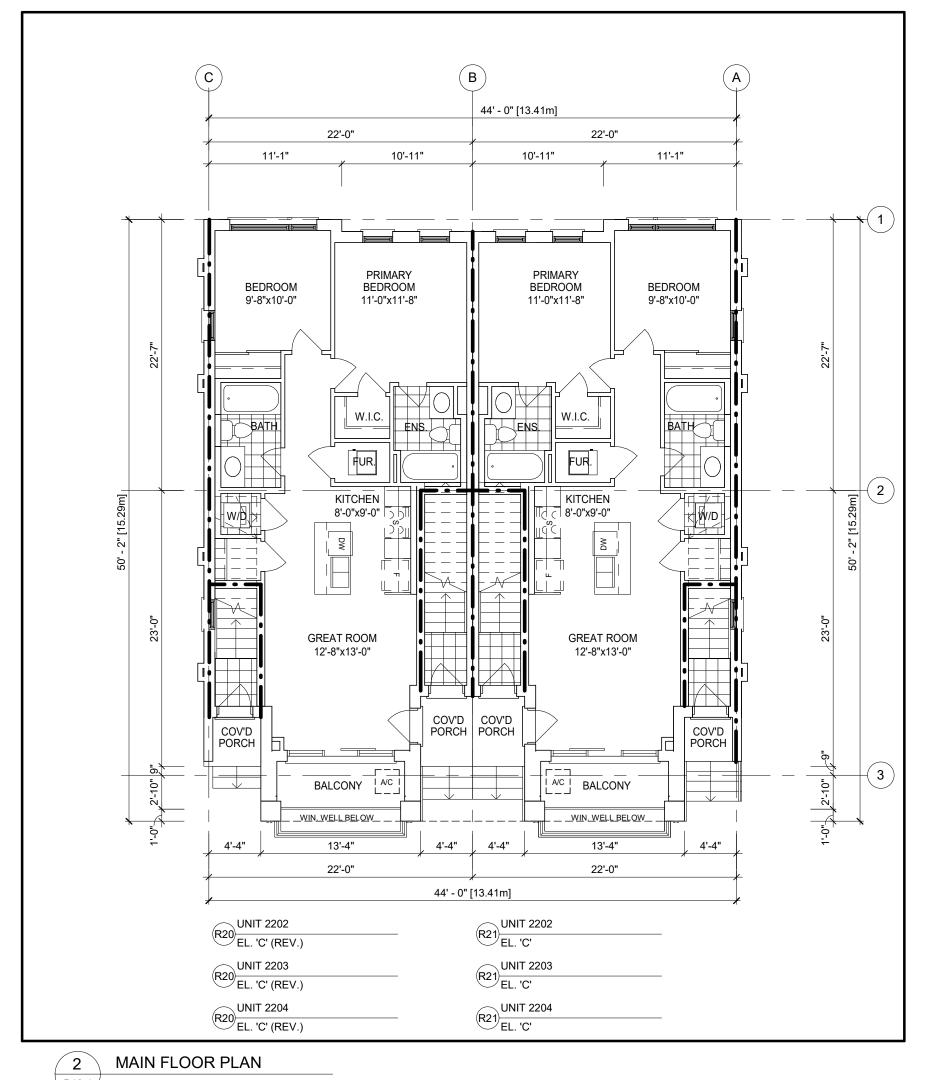
4'-4" 4'-4"

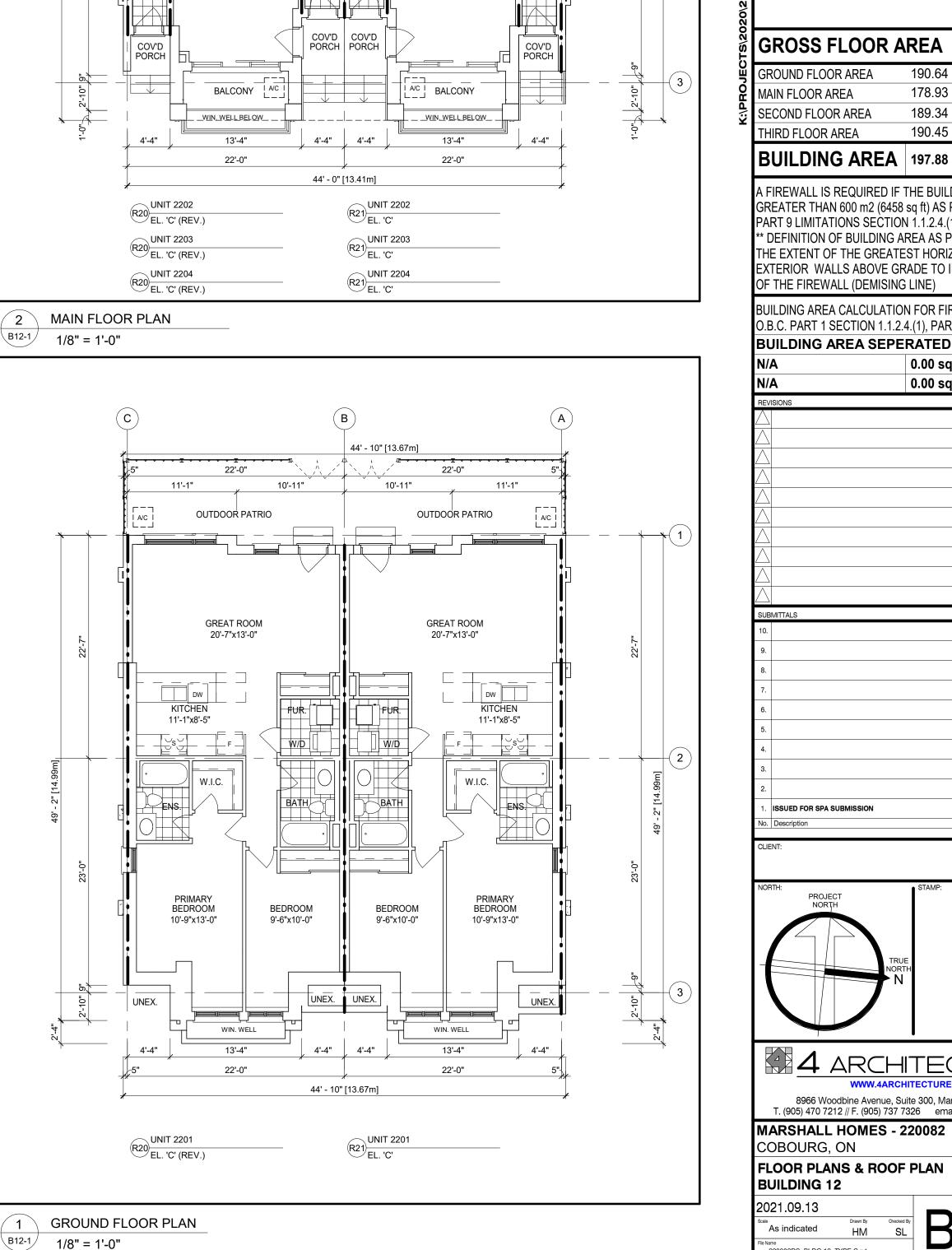
44' - 10" [13.67m]

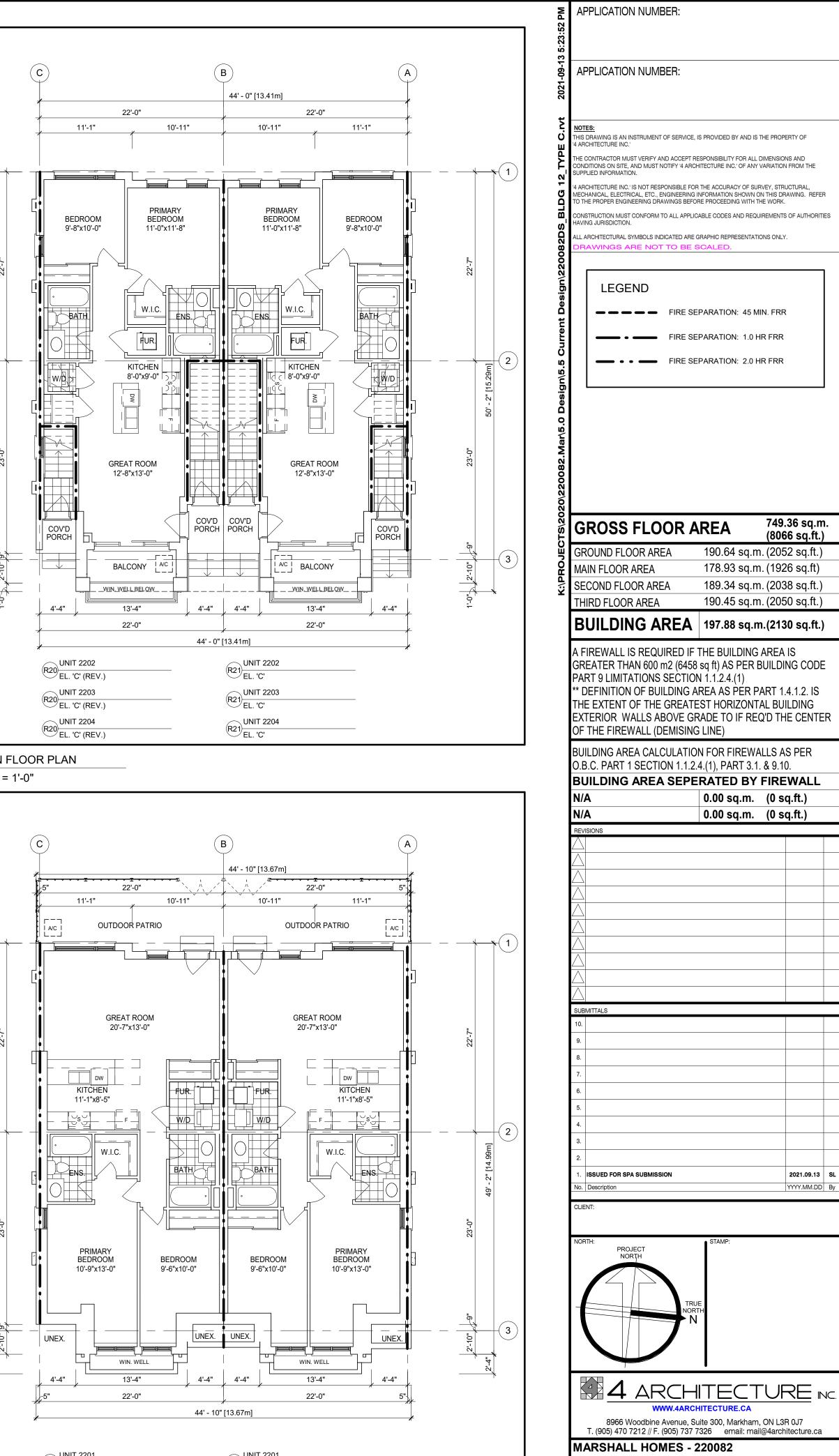
UNIT 2204

R21) EL. 'C'

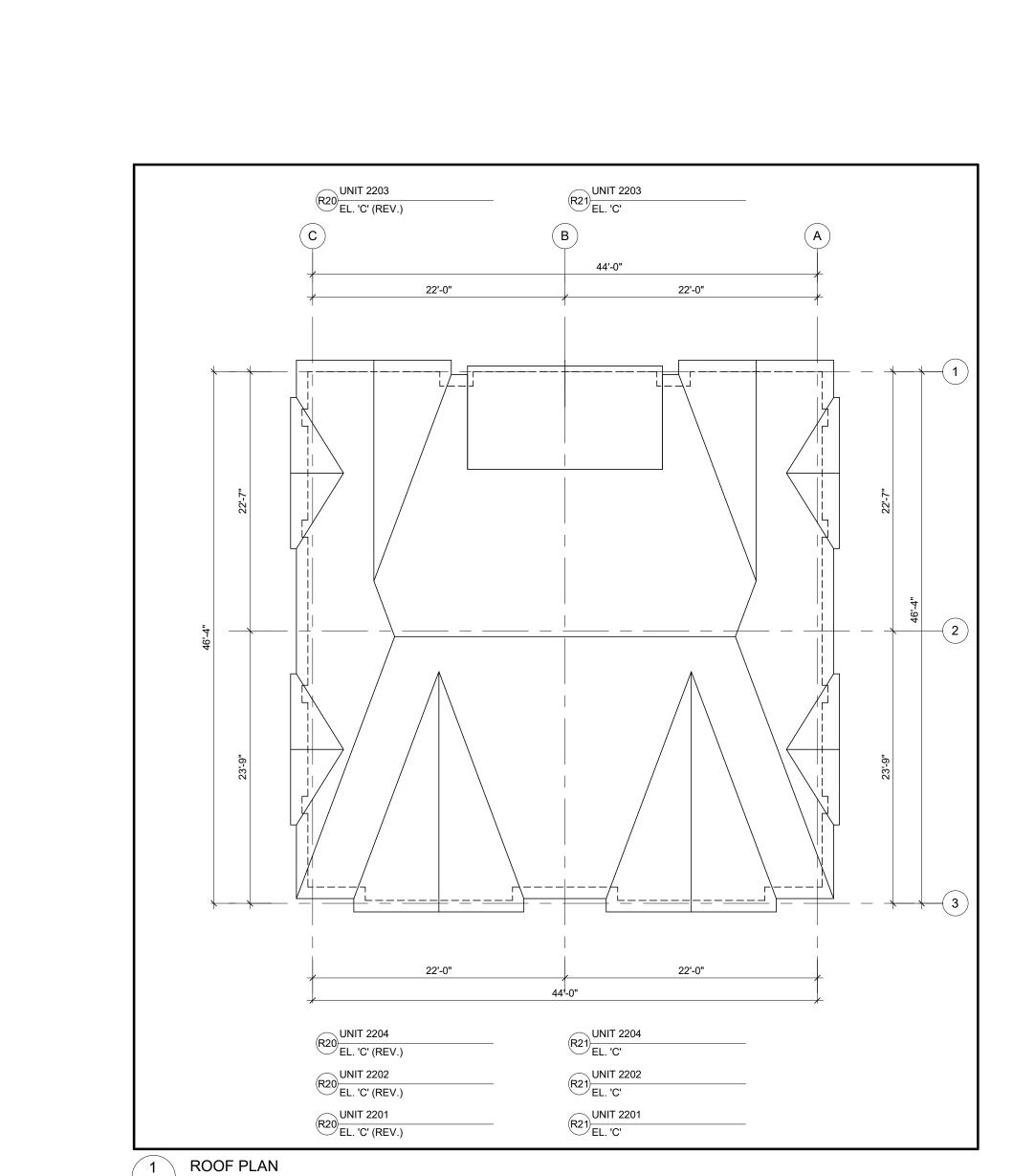








220082DS BLDG 12 TYPE C.rvt



1/8" = 1'-0"

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APPLICATION NUMBER:

APPLICATION NUMBER:

EXTERIOR COLOUR SELECTION	MANUFACTURER	1 Std. Towns	2 RL Towns	3 Stacked Towns		
Roof	BP Mystique	2-Tone Black	2-Tone Black	2-Tone Black		
Soffit, Eavestroughs, RWL and Freize Board	Giancola Aluminum	Slate	Iron Ore	Slate		
Brick 1 (Base Brick)	Meridian Brick	Portland	Vanier	Vanier		
Brick 2 (Upper Brick)	Meridian Brick	Kelowna	Portland	Kelowna		
Vinyl Siding, (including corner trim & caping)	Mitten	Stratus	White	Stratus		
Non-combustible Siding Where required	James Hardie	colour to match Vinyl Siding				
Front Door & Garage Door	Sherwin Williams	Perle Noir SW 9154	Perle Noir SW 9154	Perle Noir SW 9154		
Prefinished Exterior Trim, Panels, Exterior Posts & Door Frame	Sherwin Williams	Popular Gray SW6071	Popular Gray SW6071	Popular Gray SW6071		
Windows	Newmar	Black	Black	Black		
Railings	Airport Railing	Black	Black	Black		

UNIT 2201, EL. 'C'

FACE AREA

PORTION WALL AREA 264.62 24.58

WINDOW SUMMARY PER O.B.C. TABLE 9.10.14.4.

SPATIAL CALCULATION

GLAZED AREA CALCULATED W/ FRAME SIZE

MINUS 2" AROUND ENTIRE PERIMETER
PER O.B.C. TABLE 9.10.14.5.
MIN. REQ'D. F.R.R. 0.75 HRS
COMBUST. NON-COMBUST.
CONSTRUCTION REQ'D X
CLADDING REQ'D X

WINDOW SUMMARY PER O.B.C. TABLE 9.10.14.4.

SPATIAL CALCULATION

PORTION WALL AREA 432.85 S.F. 40.21 S.M.

ADDITIONAL NOTES

GLAZED AREA CALCULATED W/ FRAME SIZE
MINUS 2* AROUND ENTIRE PERIMETER
PER O.B.C. TABLE 9.10.14.5.
MIN. REQ'D. F.R.R. 1.00 HRS
CONSTRUCTION REQ'D X
CLADDING REQ'D X
X

UNIT 2203, EL. 'C'

UNIT 2201, EL. 'C'			UNIT 2202, EL. 'C'				
WINDOW SUMMARY			WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.14.4.			PER O.B.C. TABLE 9.10.14.4.				
SPATIAL CAI	LCULATION		SPATIAL CA	LCULATION	J		
EXPOSING BUILDING FACE AREA	264.62 24.58	S.F. S.M.	EXPOSING BUILDING FACE AREA	286.79 26.64	S.F. S.M.		
PORTION WALL AREA	264.62	S.F.	PORTION WALL AREA	286.79	S.F.		
LIMITING DISTANCE MAX. % OPENINGS		S.M. 5 m 19 %	LIMITING DISTANCE MAX. % OPENINGS		S.M. 2.5 m 17 %		
OPENINGS ALLOWED		0 SF	OPENINGS ALLOWED		19 SF		
OPENINGS PROVIDED		5 SF	OPENINGS PROVIDED		14 SF		
ADDITIONA	I NOTES		ADDITION	AL NOTES			
GLAZED AREA CALCULA		SIZE	_	ADDITIONAL NOTES GLAZED AREA CALCULATED W/ FRAME SIZE			
MINUS 2" AROUND EN	ITIRE PERIMETER	3	MINUS 2" AROUND E	NTIRE PERIMETE	IRE PERIMETER		
PER O.B.C. TABI	LE 9.10.14.5	5.	PER O.B.C. TAE	PER O.B.C. TABLE 9.10.14.5.			
MIN. REQ'D. F.R.R.	1.00 HRS		MIN. REQ'D. F.R.R.	1.00 HRS			
CONSTRUCTION REQ'D	COMBUST. NON-	COMBUST.	CONSTRUCTION REQ'D	COMBUST, NON	- COMBUST.		
CLADDING REQ'D		Χ	CLADDING REQ'D	^	X		
UNIT 2203, EL.	'C'		UNIT 2204, EL	'C'			
WINDOW S	 SUN/N/A	RY	WINDOW	SUMMA	\RY		
PER O.B.C. TABLE 9.10.14.4.			PER O.B.C. TA				
			SPATIAL CALCULATION				
SPATIAL CAL					-		
EXPOSING BUILDING	432.85	S.F.	EXPOSING BUILDING	584.88	S.F.		
EXPOSING BUILDING FACE AREA			EXPOSING BUILDING FACE AREA		-		
EXPOSING BUILDING FACE AREA PORTION WALL AREA	432.85 40.21 432.85 40.21	S.F. S.M. S.F. S.M.	EXPOSING BUILDING FACE AREA PORTION WALL AREA	584.88 54.34 584.88 54.34	S.F. S.M. S.F. S.M.		
EXPOSING BUILDING FACE AREA PORTION WALL AREA LIMITING DISTANCE	432.85 40.21 432.85 40.21 2.	S.F. S.M. S.F. S.M. 5 m	EXPOSING BUILDING FACE AREA PORTION WALL AREA LIMITING DISTANCE	584.88 54.34 584.88 54.34	S.F. S.M. S.F. S.M.		
EXPOSING BUILDING FACE AREA PORTION WALL AREA	432.85 40.21 432.85 40.21 2.	S.F. S.M. S.F. S.M.	EXPOSING BUILDING FACE AREA PORTION WALL AREA	584.88 54.34 584.88 54.34	S.F. S.M. S.F. S.M.		
EXPOSING BUILDING FACE AREA PORTION WALL AREA LIMITING DISTANCE MAX. % OPENINGS OPENINGS ALLOWED	432.85 40.21 432.85 40.21 2. 1	S.F. S.M. S.F. S.M. 5 m 4 %	EXPOSING BUILDING FACE AREA PORTION WALL AREA LIMITING DISTANCE MAX. % OPENINGS	584.88 54.34 584.88 54.34	S.F. S.M. S.F. S.M. 2.5 m		
EXPOSING BUILDING FACE AREA PORTION WALL AREA LIMITING DISTANCE MAX. % OPENINGS	432.85 40.21 432.85 40.21 2. 1	S.F. S.M. S.F. S.M. 5 m 4 %	EXPOSING BUILDING FACE AREA PORTION WALL AREA LIMITING DISTANCE MAX. % OPENINGS OPENINGS ALLOWED	584.88 54.34 584.88 54.34	S.F. S.M. S.F. S.M. 2.5 m 11 %		
EXPOSING BUILDING FACE AREA PORTION WALL AREA LIMITING DISTANCE MAX. % OPENINGS OPENINGS ALLOWED	432.85 40.21 432.85 40.21 2. 1 61 40	S.F. S.M. S.F. S.M. 5 m 4 %	EXPOSING BUILDING FACE AREA PORTION WALL AREA LIMITING DISTANCE MAX. % OPENINGS OPENINGS ALLOWED	584.88 54.34 584.88 54.34 2	S.F. S.M. S.F. S.M. 2.5 m 11 %		
EXPOSING BUILDING FACE AREA PORTION WALL AREA LIMITING DISTANCE MAX. % OPENINGS OPENINGS ALLOWED OPENINGS PROVIDED ADDITIONA GLAZED AREA CALCULA	432.85 40.21 432.85 40.21 2. 1 61 40 L NOTES	S.F. S.M. S.F. S.M. 5 m 4 % 1 SF 0 SF	EXPOSING BUILDING FACE AREA PORTION WALL AREA LIMITING DISTANCE MAX. % OPENINGS OPENINGS ALLOWED OPENINGS PROVIDED ADDITION GLAZED AREA CALCUL	584.88 54.34 584.88 54.34 2 6 5 AL NOTES	S.F. S.M. S.F. S.M. 2.5 m 11 % 44 SF 66 SF		
EXPOSING BUILDING FACE AREA PORTION WALL AREA LIMITING DISTANCE MAX. % OPENINGS OPENINGS ALLOWED OPENINGS PROVIDED ADDITIONA GLAZED AREA CALCULA' MINUS 2" AROUND EN	432.85 40.21 432.85 40.21 2. 1 61 40 L NOTES TED W/ FRAME S ITIRE PERIMETER	S.F. S.M. S.F. S.M. 5 m 4 % 1 SF 0 SF	EXPOSING BUILDING FACE AREA PORTION WALL AREA LIMITING DISTANCE MAX. % OPENINGS OPENINGS ALLOWED OPENINGS PROVIDED ADDITION GLAZED AREA CALCUL MINUS 2" AROUND E	584.88 54.34 584.88 54.34 2 6 5 AL NOTES ATED W/ FRAME NTIRE PERIMETE	S.F. S.M. S.F. S.M. S.M. 5.5 m 11 % 64 SF 66 SF		
EXPOSING BUILDING FACE AREA PORTION WALL AREA LIMITING DISTANCE MAX. % OPENINGS OPENINGS ALLOWED OPENINGS PROVIDED ADDITIONA GLAZED AREA CALCULA' MINUS 2" AROUND EN PER O.B.C. TABI	432.85 40.21 432.85 40.21 2. 1 61 40 L NOTES TED W/ FRAME S TITRE PERIMETER E 9.10.14.5	S.F. S.M. S.F. S.M. 5 m 4 % 4 SF 0 SF	EXPOSING BUILDING FACE AREA PORTION WALL AREA LIMITING DISTANCE MAX. % OPENINGS OPENINGS ALLOWED OPENINGS PROVIDED ADDITION GLAZED AREA CALCUL MINUS 2" AROUND E PER O.B.C. TAE	584.88 54.34 584.88 54.34 2 AL NOTES ATED W/ FRAME NTIRE PERIMETE BLE 9.10.14.	S.F. S.M. S.F. S.M. .5.5 m 11 % 64 SF 66 SF		
EXPOSING BUILDING FACE AREA PORTION WALL AREA LIMITING DISTANCE MAX. % OPENINGS OPENINGS ALLOWED OPENINGS PROVIDED ADDITIONA GLAZED AREA CALCULA' MINUS 2' AROUND EN	432.85 40.21 432.85 40.21 2. 1 61 40 L NOTES TED W/ FRAME S ITIRE PERIMETER	S.F. S.M. S.F. S.M. 5 m 4 % SF O SF	EXPOSING BUILDING FACE AREA PORTION WALL AREA LIMITING DISTANCE MAX. % OPENINGS OPENINGS ALLOWED OPENINGS PROVIDED ADDITION GLAZED AREA CALCUL MINUS 2" AROUND E	584.88 54.34 584.88 54.34 2 AL NOTES ATED W/ FRAME NTIRE PERIMETE 3LE 9.10.14.	S.F. S.M. S.F. S.M. .5.5 m 11 % 64 SF 66 SF		
EXPOSING BUILDING FACE AREA PORTION WALL AREA LIMITING DISTANCE MAX. % OPENINGS OPENINGS ALLOWED OPENINGS PROVIDED ADDITIONA GLAZED AREA CALCULA' MINUS 2" AROUND EN PER O.B.C. TABI	432.85 40.21 432.85 40.21 2. 1 61 40 L NOTES TED W/ FRAME S TITRE PERIMETER LE 9.10.14.5 1.00 HRS	S.F. S.M. S.F. S.M. 5 m 4 % SF O SF	EXPOSING BUILDING FACE AREA PORTION WALL AREA LIMITING DISTANCE MAX. % OPENINGS OPENINGS ALLOWED OPENINGS PROVIDED ADDITION GLAZED AREA CALCUL MINUS 2" AROUND E PER O.B.C. TAE	584.88 54.34 584.88 54.34 2 6 6 5 AL NOTES ATED W/ FRAME NTIRE PERIMETE 3L E 9.10.14, COMBUSTI NON	S.F. S.M. S.F. S.M. S.S. m 11 % 44 SF 166 SF		

UNIT 2202, EL. 'C'

WINDOW SUMMARY PER O.B.C. TABLE 9.10.14.4.

SPATIAL CALCULATION EXPOSING BUILDING 286.79 FACE AREA 26.64

GLAZED AREA CALCULATED W/ FRAME SIZE

MINUS 2" AROUND ENTIRE PERIMETER
PER O.B.C. TABLE 9.10.14.5.
MIN. REQD. F.R.R. 1.00 HRS
COMBUST, NON-COMBUST,
CONSTRUCTION REQD X
CLADDING REQD X

WINDOW SUMMARY PER O.B.C. TABLE 9.10.14.4.

SPATIAL CALCULATION

ADDITIONAL NOTES

RIGHT SIDE ELEVATION

1/8" = 1'-0"

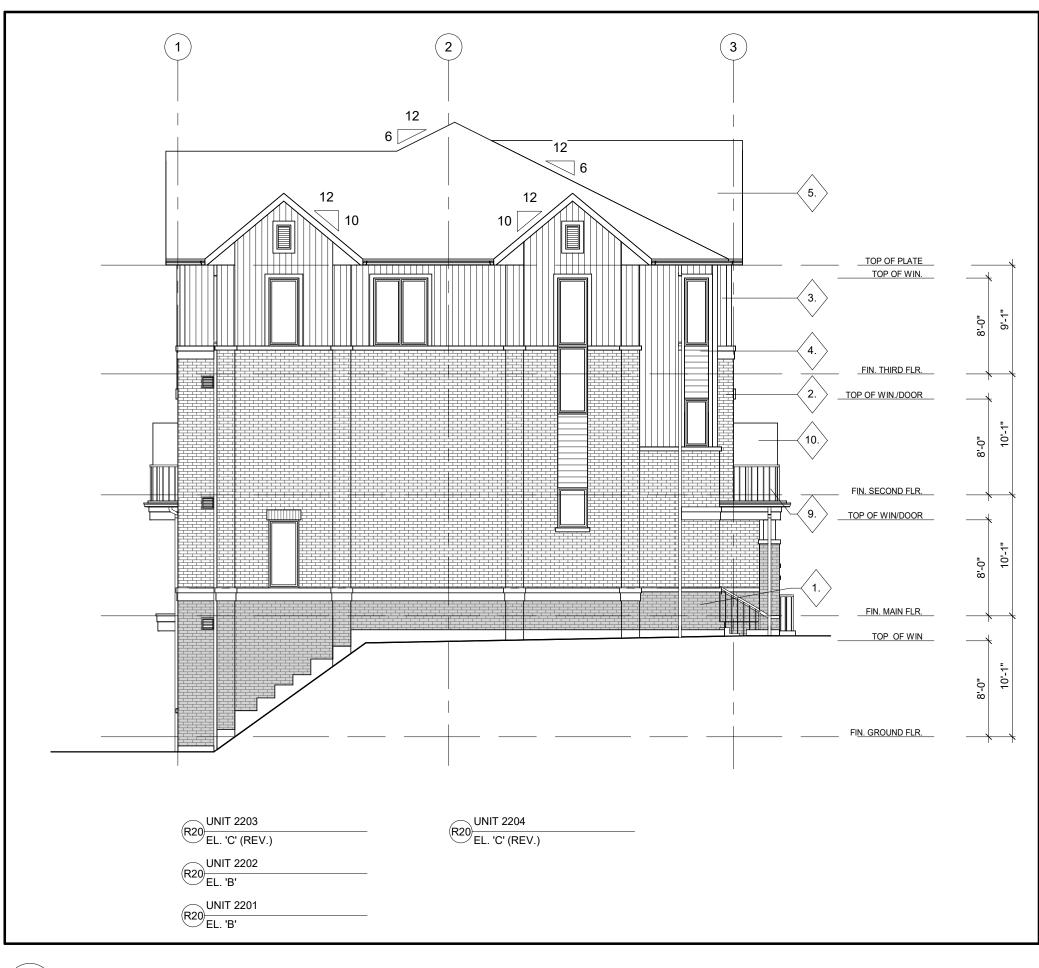
B12-3

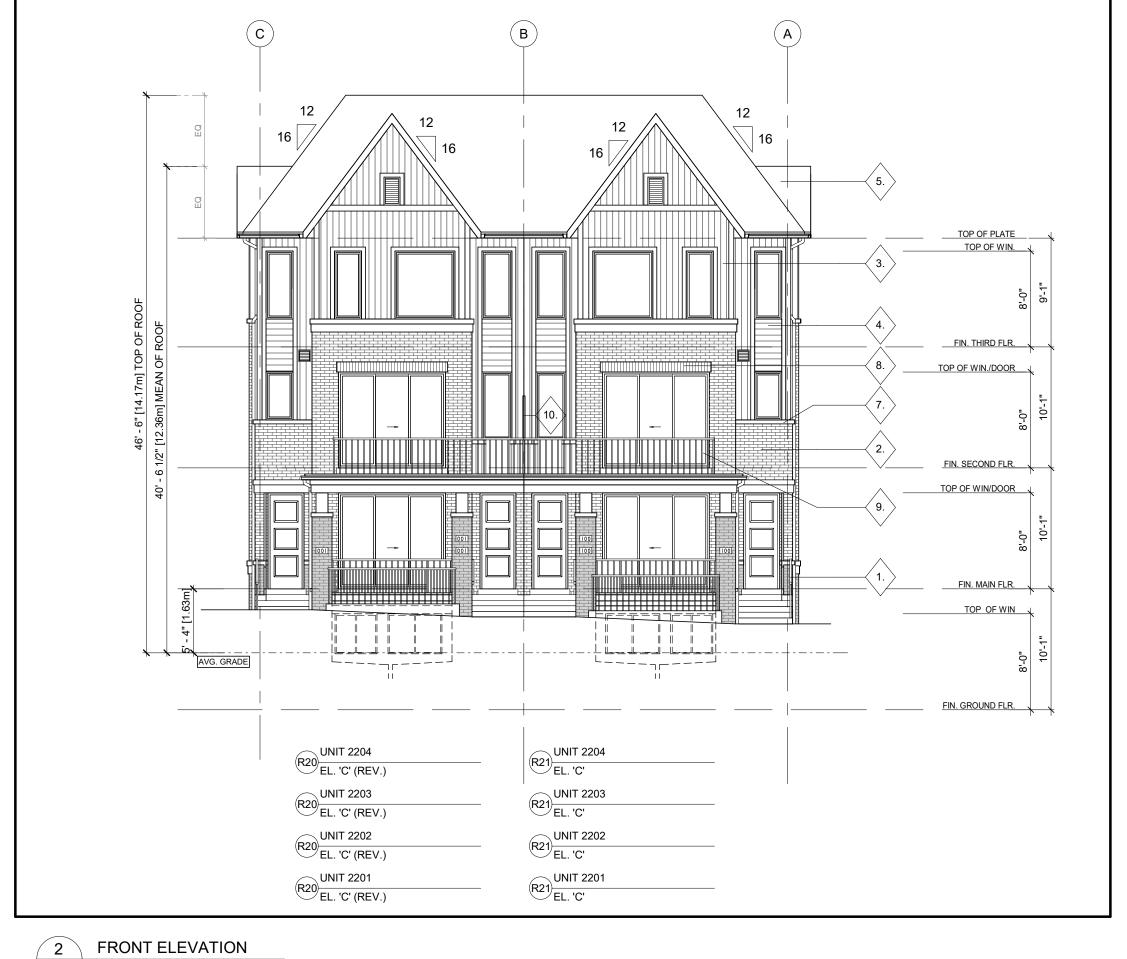
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER
PER O.B.C. TABLE 9.10.14.5.
MIN. REOD. F.R.R. 1.00 HRS
CONSTRUCTION PEOUD. COMBUST.

PORTION WALL AREA 584.88 54.34

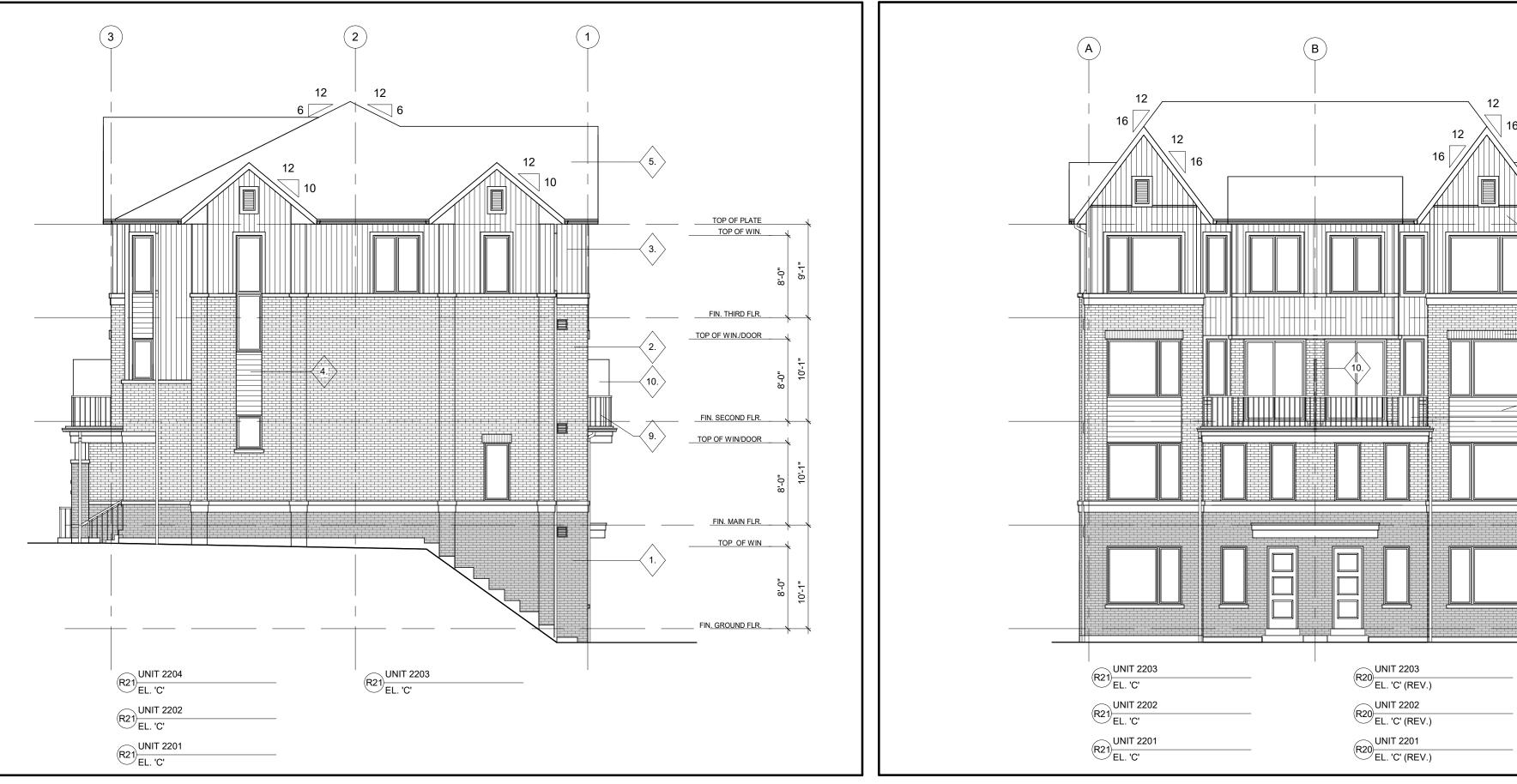
PORTION WALL AREA 286.79 26.64

UNIT 2204, EL. 'C'



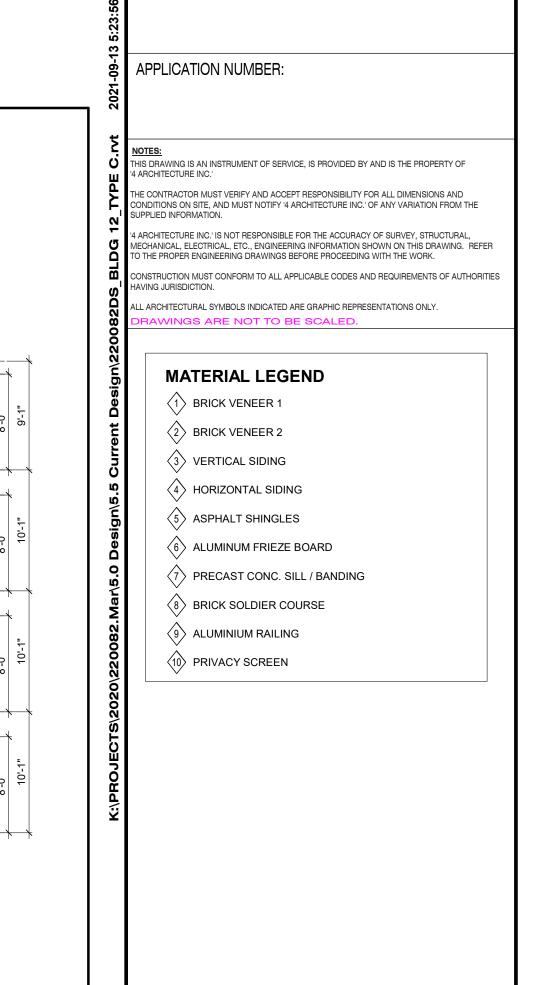


4 LEFT SIDE ELEVATION B12-3 1/8" = 1'-0" 12 12 TOP OF PLATE TOP OF WIN. FIN. THIRD FLR. TOP OF WIN./DOOR TOP OF WIN/DOOR FIN. MAIN FLR. TOP OF WIN FIN. GROUND FLR. UNIT 2203 UNIT 2204 R21) EL. 'C' R21) EL. 'C' **UNIT 2202** R21) EL. 'C'

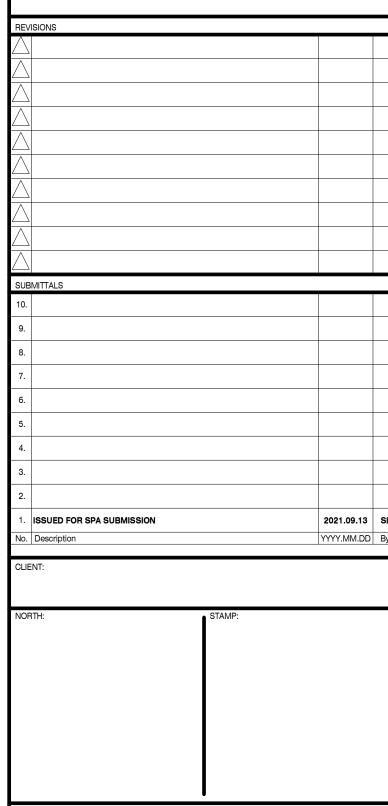


B12-3

1/8" = 1'-0"



APPLICATION NUMBER:



TOP OF PLATE TOP OF WIN.

FIN. THIRD FLR.

TOP OF WIN./DOOR

FIN. SECOND FLR.

FIN. MAIN FLR.

TOP OF WIN

_____ FIN. GROUND FLR.

TOP OF WIN/DOOR

4 ARCHITECTURE NC

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MARSHALL HOMES - 220082 COBOURG, ON **ELEVATIONS**

BUILDING 12

220082DS BLDG 12 TYPE C.rvt

2021.09.13

REAR ELEVATION B12-3 1/8" = 1'-0"