

274 KING STREET EAST
COUBOURG, ON

KBK ARCHITECTS INC.
T: 1-800-203-7010
INFO@KBKARCHITECTS.CA
SUITE #300, 25 SHEPPARD AVE. W, TORONTO

GENERAL NOTES

1. CONTRACTOR MUST VISIT SITE TO FAMILIARIZE WITH EXISTING CONDITIONS BEFORE QUOTING FOR THE JOB.
 2. VERIFY ALL EXISTING MEMBER SIZES, ELEVATIONS, AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORKS.
 3. REPORT ANY DISCREPANCIES TO ENGINEER IMMEDIATELY FOR ADVISE.
 4. CONTRACTOR TO SUBMIT DETAILED SHOP DRAWINGS PRIOR TO FABRICATION.
 5. REFER TO NOTES AND SCHEDULES FOR SPECIFICATIONS & GENERAL NOTES.
 6. DIMENSIONS MARKED ON STRUCTURAL DRAWINGS ARE FOR DESIGN ONLY.
 7. CONTRACTOR IS REQUIRED TO FOLLOW MEASURE ALL DIMENSIONS, LEVELS & CONDITIONS ON SITE.
- DISCREPANCY BETWEEN STRUCTURAL & ON SITE CONDITIONS MUST BE BROUGHT TO THE ATTENTION OF ENGINEER & OWNER PRIOR TO COMMENCING ANY CONSTRUCTION AND FABRICATION.
7. THESE NOTES AND ALL NOTES ARE PART OF THE WHOLE APPLICATION.
- CONTRACTOR(S) MUST GO THROUGH NOTES AND TREAT ALL DRAWINGS AS PART OF ONE APPLICATION.
8. PRIOR TO THE REMOVAL OF ANY INTERIOR WALLS, VERIFY THE CONSTRUCTION AND SUPPORT REQUIREMENTS OF THE CEILING JOISTS OR BOTTOM CHORDS OF ROOF TRUSSES (ABOVE).
- IF ANY JOIST OR CHORD BEAR ON INTERIOR WALLS, METHOD AND DESIGN OF SUPPORT FOR THE CEILING AREA TO BE PROVIDED TO INSPECTOR ON SITE FOR APPROVAL.

METRIC:

ALL DRAWINGS ARE DESIGNED IN METRIC FORMAT. DIMENSIONS IN IMPERIAL SYSTEM ARE SHOWN FOR REFERENCE AND ARE ROUNDED UP TO THE NEAREST 1". FOR ACCURACY, UTILIZE THE METRIC DIMENSIONS

Multiple Residential R4		Allowed zoning		Provided	
Data / Units		Metric	Imperial	Metric	Imperial
Lot Area		942.22 sqm	10,142 sqft	942.22 sqm	10,142 sqft
Frontage		15.21 m	49.90 ft	15.21 m	49.90 ft
Front yard		6 m	19.69 ft	10.43 m	34.22 ft
Rear yard		7 m	22.97 ft	5.87 m	19.26 ft
Side Yard		3.65 m	11.98 ft	1.9 m	6.23 ft
Maximum Height	3 Storeys	10.5 m	34.45 ft	8.71 m	28.58 ft
Max No. Units	4 Units	-	-	-	-
Coverage	40%	376.9 sqm	4,057 sqft	213.0 sqm	2,299 sqft

Car Parking per unit	1.25	19.0 sqm	205 sqft	5 Carparking		
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Proposed		Sqm	Sqft	%
First Floor Area	Unit 1	94.97	1,022.2	
	Unit 2	94.97	1,022.2	
		202.35	2,178.1	
Second Floor Area	Unit 3	102.96	1,108.3	
	Unit 4	102.96	1,108.3	
		205.38	2,210.7	
FSI		407.73	4,388.8	43.3%
Coverage		212.99	2,292.6	22.6%



PART 3 - FIRE PROTECTION, OCCUPANT SAFETY AND ACCESSIBILITY

Revised: 2016-10-10

OBC REFERENCE:

Name of Practice	KSK ARCHITECTS INC.					
Address 1	25 Sheppard Ave W					
Address 2	Suite # 300 Toronto					
Contact	1(800)203-7010 / Info@kskarchitects.ca					
Name of Project	274 KING STREET, COBORURG					
Location/Address	274 KING STREET, COBORURG					
Date	05/05/2021				Seal & Signature	
3.00 BUILDING CODE VERSION	O Reg. 532/12		LAST AMENDMENT O Reg. 19/114			
3.01 PROJECT TYPE	New Construction				[A] 1.1.2.	
3.02 MAJOR OCCUPANCY CLASSIFICATION	OCCUPANCY	USE			3.1.2.1.(FOURPLE)	
	C Residential	Apartment building				
	-					
	-					
3.03 SUPERIMPOSED MAJOR OCCUPANCIES	NO				3.2.2.7.	
	-					
3.04 BUILDING AREA (m²)	DESCRIPTION	EXISTING	NEW	TOTAL [A]	1.4.1.2.	
	TOTAL	407.73	407.7	407.7		
				-		
				-		
	TOTAL	-	407.7	407.7		
3.05 GROSS AREA (m²)	DESCRIPTION	EXISTING	NEW	TOTAL [A]	1.4.1.2.	
	1st Storey	203.35	202.4	202.4		
	2nd Storey	205.38	205.4	205.4		
				-		
	TOTAL	-	407.7	407.8		
3.06 MEZZANINE AREA (m²)	DESCRIPTION	EXISTING	NEW	TOTAL	3.2.1.1.	
	NA	NA	NA	-		
				-		
				-		
	TOTAL	-	-	-		
3.07 BUILDING HEIGHT	2 0	STOREYS ABOVE GRADE STOREYS BELOW GRADE	8.71 (m) ABOVE GRADE		[A] 1.4.1.2. & 3.2.1.1.	
3.08 HIGH BUILDING	No					3.2.6
3.09 NUMBER OF STREETS/FIREFIGHTER ACCESS	1 STREET(S)				3.2.2.10. & 3.2.5.	
3.10 BUILDING CLASSIFICATION SIZE AND CONSTRUCTION RELATIVE TO OCCUPANCY	3.2.2.47. Group C, up to 3 Storeys				3.2.2.20-43.	
	-					
	-					
	-					
3.11 SPRINKLER SYSTEM	Not Required	PROVIDED: None			3.2.1.5. & 3.2.2.17.	
	DESCRIBE				3.2.8.	
3.12 STANDPIPE SYSTEM	Not Required					

(FOURPLEX)

(5) (iv)

3.13 FIRE ALARM SYSTEM	Not Required		TYPE PROVIDED N/A				3.2.4.					
3.14 WATER SERVICE/ SUPPLY IS ADEQUATE	Yes											
3.15 CONSTRUCTION TYPE	RESTRICTIONS	Combustible Permitted					3.2.2.2-83.					
	ACTUAL	Combustible		HEAVY TIMBER CONSTRUCTION		NO	3.2.1.4.					
3.16 IMPORTANCE CATEGORY	Low			Low Human Occupancy			4.1.2.1 (3), 14.1.2.1 (8)					
3.17 SEISMIC HAZARD INDEX (I _s , I _s , I _s)	0.00	Seismic Design Net Required for Table 4.1.1.18, Items 6 to 21					4.1.8.18 (1)					
3.18 OCCUPANT LOAD	FLOOR LEVEL/ELEVA		OCCUPANCY TYPE	BASED ON		OCCUPANT LOAD (PERSONS)	3.1.17.					
	1st floor		Residential	No. of sleeping rooms		12						
	2nd Storey		Residential	No. of sleeping rooms		12						
				-								
	TOTAL					24						
3.19 BARRIER-FREE DESIGN	Yes		One unit to be barrier free design				3.8.					
3.20 HAZARDOUS SUBSTANCES	No						3.3.1.2 & 3.3.1.10					
3.21 REQUIRED FIRE RESISTANCE RATINGS	HORIZONTAL ASSEMBLY		RATING (R)	SUPPORTING ASSEMBLY (R)		NONCOMBUSTIBLE IN LIEU OF RATING?	3.2.2.20-83, 3.2.1.4.					
	FLOORS OVER BSMT		N/A	N/A		N/A						
	FLOORS		45min	45min		YES						
	MEZZANINE		N/A	N/A		N/A						
	ROOF		-	-		N/A						
3.22 SPATIAL SEPARATION	WALL	EBF AREA (m ²)	L/D. (m ²)	L/H OR H/L	REQUIRED R/F (R)	CONSTRUCTION TYPE	CLADDING TYPE	3.2.3.				
	Between units				45min	Combustible Permitted	Combustible Permitted					
					-	-	-					
					-	-	-					
					-	-	-					
3.23 PLUMBING FIXTURE REQUIREMENTS	RATIO:		MALE/FEMALE = 50/50 EXCEPT AS NOTED OTHERWISE					3.7.4.				
	FLOOR LEVEL/ELEVA		OCCUPANT LOAD	ORC SENTENCE	FIXTURES REQUIRED	FIXTURES PROVIDED						
	Typical Unit 1,3,4		6		1	2						
	Unit 2		6		1	1						
3.24 ENERGY EFFICIENCY	COMPLIANCE PATH:											
	CLIMATIC ZONE:											
3.25 NOTES												

1

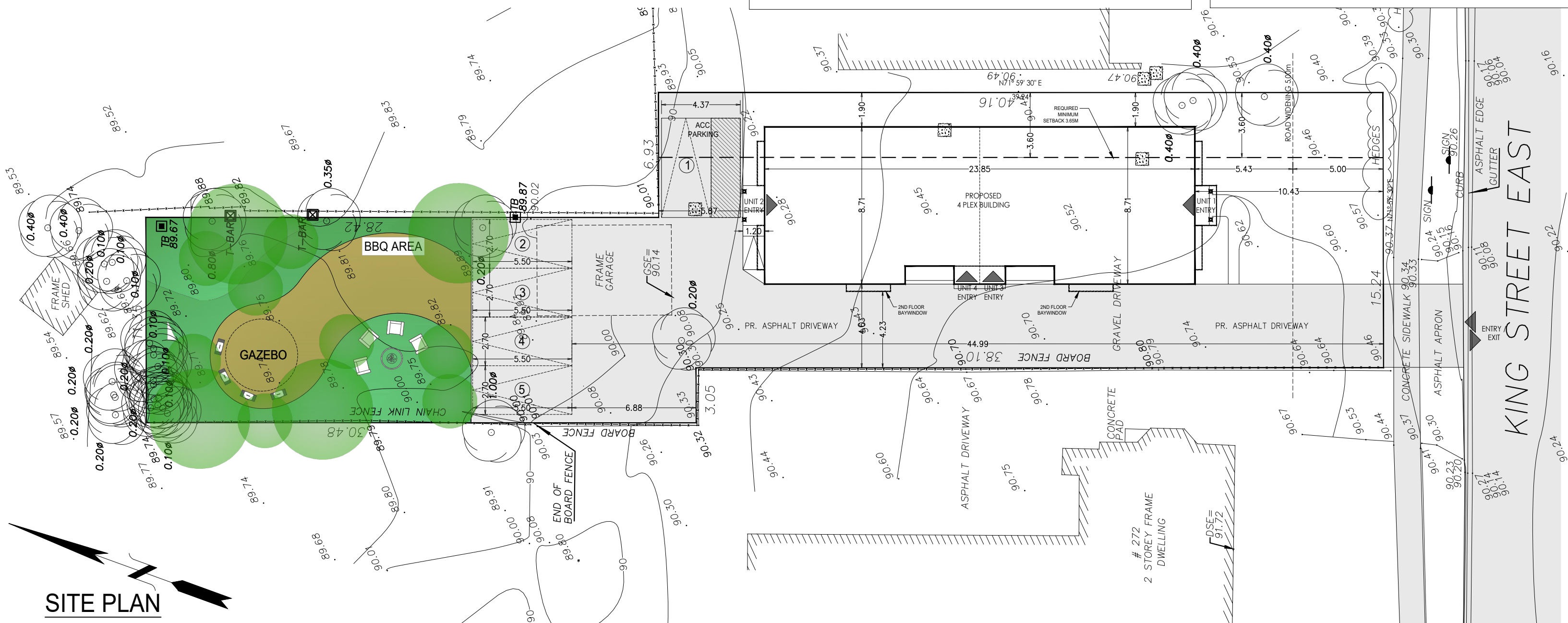
ALL REFERENCES ARE TO DIVISION 8 OF THE OBC UNLESS PRECEDED BY (A) FOR DIVISION 4 AND (C) FOR DIVISION 2

October 2016

B01

Ontario Building Code Data Matrix, Part 3

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DESIGNER'S STAMP



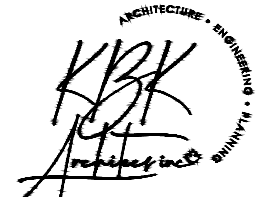
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NO.	ISSUED FOR	DATE
1	REVIEW	MAY 05, 202

**KBK ARCHITECTS INC.**

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TORONTO

PROJECT ADDRESS
274 KING ST E, COBOURG

DRAWING

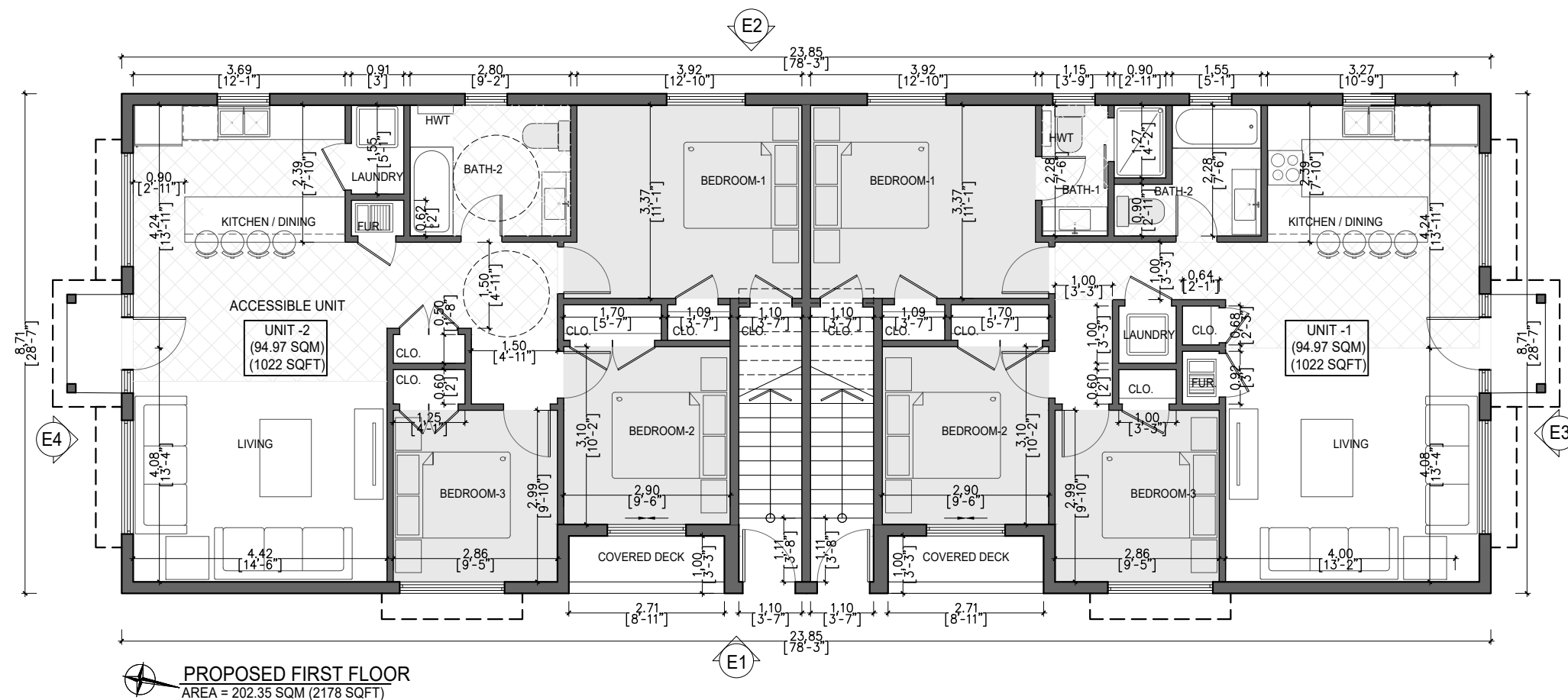
SITE PLAN

DRAWN TIN	MNGR. AH	PROJECT NO. MIDD-01
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PLOTTED DATE MAY 05, 2021	DRAWING NO.
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SCALE ©17"X22"

1 : 200	At.
CHECKED	
KYLE KHADRA	



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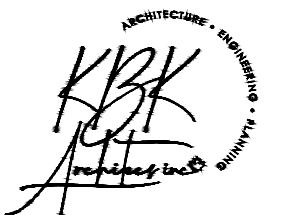
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NO.	ISSUED FOR	DATE
1	PRE-CONSULT	MAR 11, 2021
2	PRE-CONSULT	MAY 05, 2021



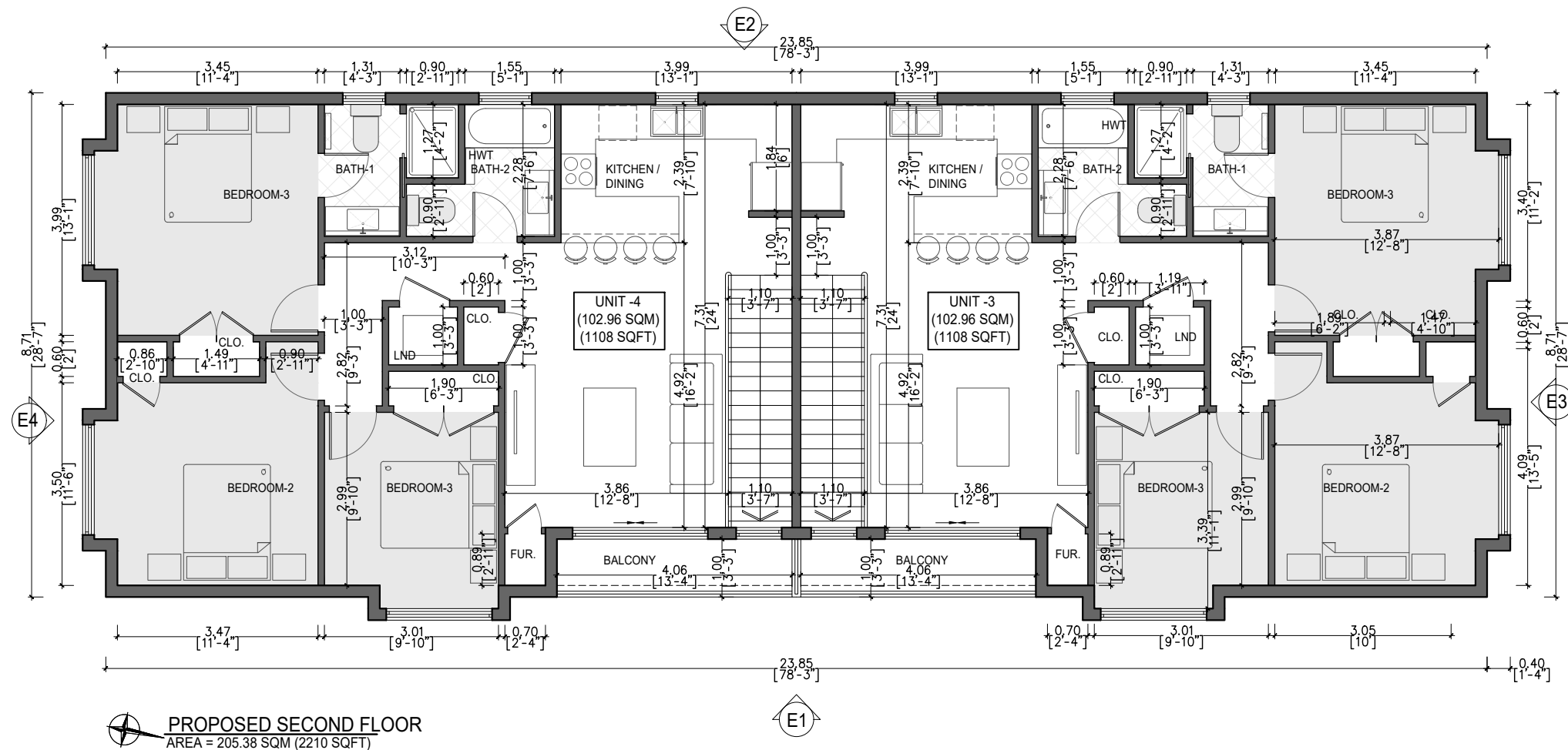
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SUITE #300, 25 SHEPPARD AVE. W.
TORONTO

PROJECT ADDRESS
274 KING ST E, COBOURG

DRAWING
FIRST FLOOR PLAN

DRAWN DD	MNGR. KK	PROJECT NO. MIDD-01
PLOTTED DATE MAY 05, 2021		DRAWING NO A2.1
SCALE @11"x17" 1 : 200		
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PROPOSED SECOND FLOOR
AREA = 205.38 SQM (2210 SQFT)

DESIGNER'S STAMP



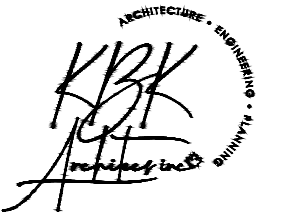
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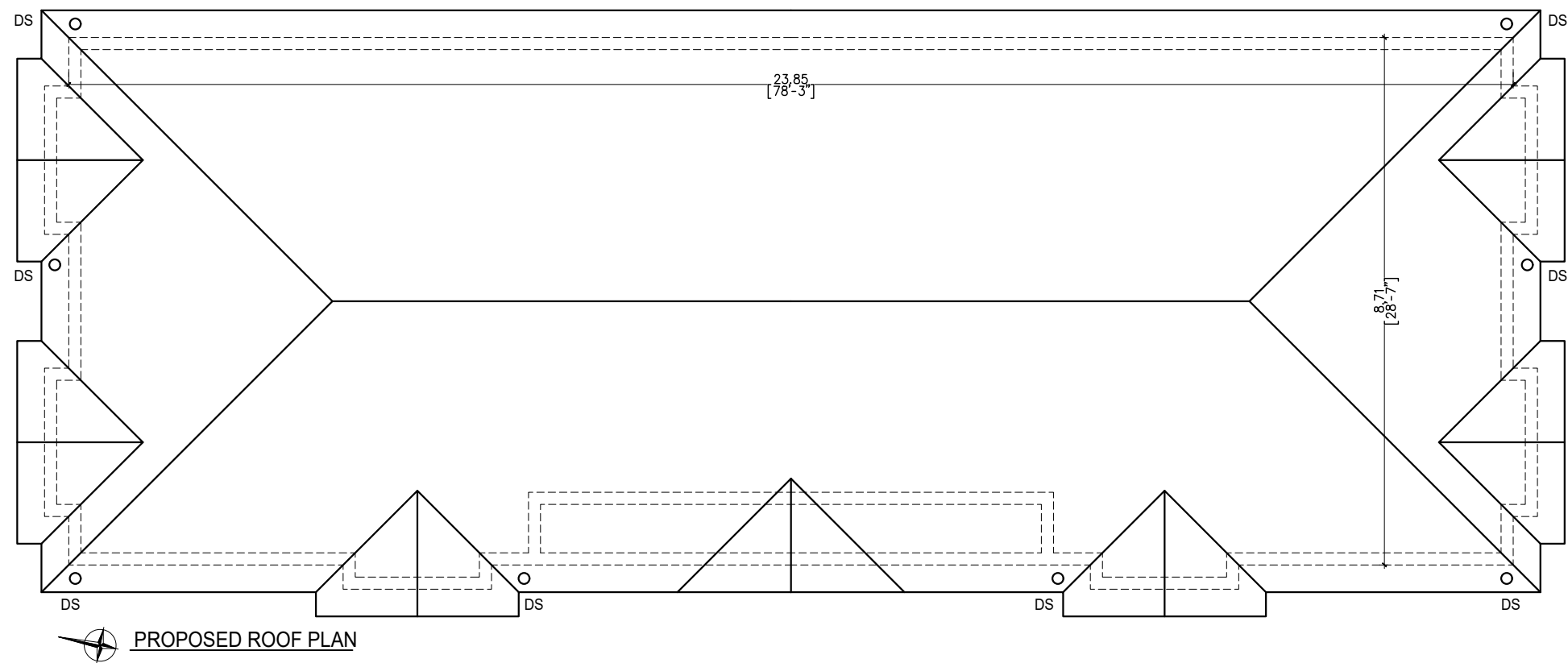
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PROJECT ADDRESS
274 KING ST E, COBOURG

DRAWING
SECOND FLOOR PLAN

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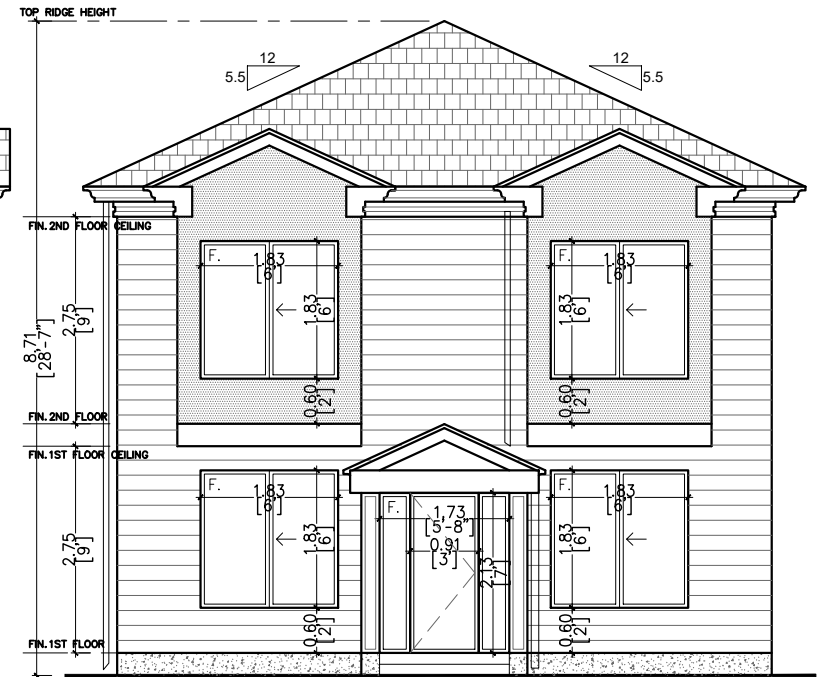
PROJECT ADDRESS
274 KING ST E, COBOURG

DRAWING
ROOF PLAN

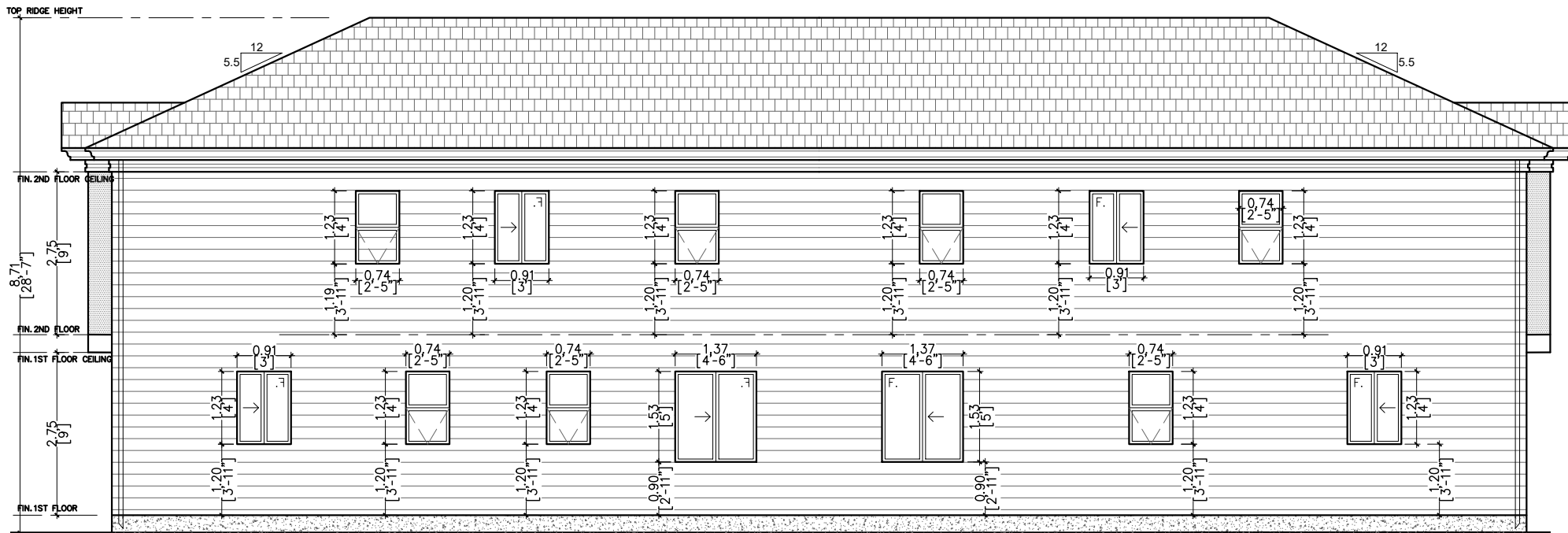
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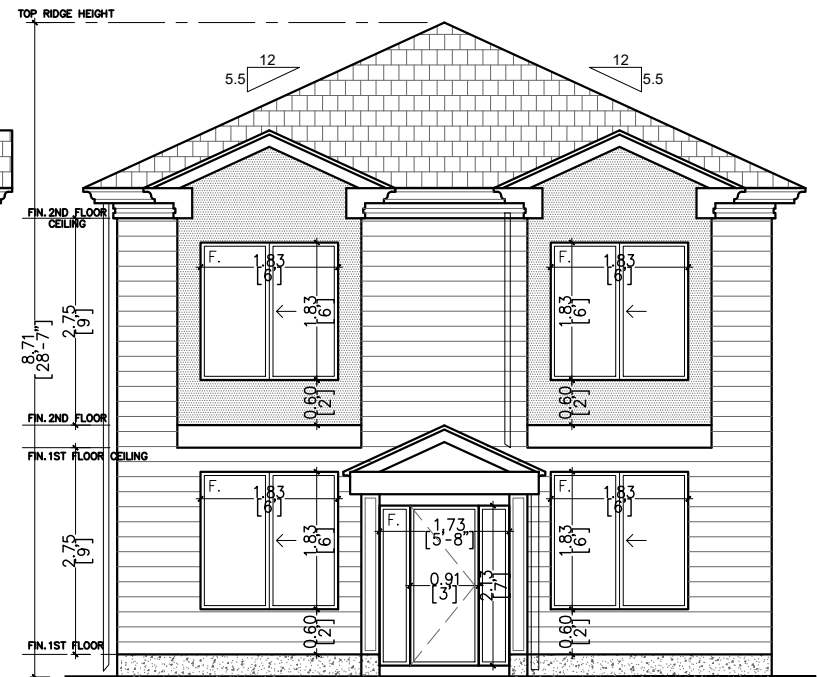
ELEVATION 1



ELEVATION 3



ELEVATION 2



ELEVATION 4

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PROJECT ADDRESS
274 KING ST E, COBOURG

DRAWING
ELEVATIONS
E1

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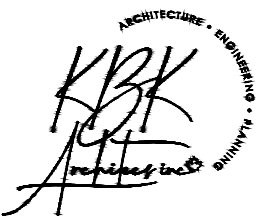
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DRAWING
3D SCHEMATICS

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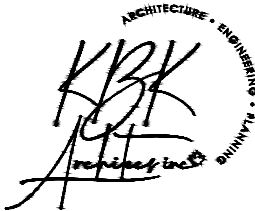
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DD
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KYLE KHADRA

PROJECT NO.
MIDD-01
DRAWING NO
A4.2